

**Moorabool**  
Shire Council

# **ATTACHMENTS**

**Ordinary Council Meeting**

**Under Separate Cover**

**Wednesday, 7 February 2024**



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*Planning and Environment Act 1987*

## **MOORABOOL PLANNING SCHEME**

### **AMENDMENT C103MOOR**

#### **EXPLANATORY REPORT**

#### **Overview**

This amendment facilitates the future subdivision and residential development of land in Hopetoun Park North.

It does this by rezoning approximately 62 hectares of land from the Farming Zone to the Neighbourhood Residential Zone; by applying the Development Plan Overlay to ensure the land is developed in an orderly manner and manage the design and layout of the future subdivision and the future road network (including bushfire management requirements); by applying the Design and Development Overlay to manage setbacks and siting requirements for future dwellings; by applying the Environmental Significance Overlay to two areas of biodiversity significance; and by removal of the existing Significant Landscape Overlay and Design and Development Overlay which relate to rural land uses.

#### **Where you may inspect this amendment**

The amendment can be inspected free of charge at the Moorabool Shire Council website at <https://www.moorabool.vic.gov.au/Building-and-planning/Planning-for-the-Shires-future/Planning-scheme-amendments>

The amendment is available for public inspection, free of charge, during office hours at the following places:

- Moorabool Shire Council, 15 Stead Street, BALLAN VIC 3342
- Darley Civic and Community Hub, 182 Halletts Way, DARLEY VIC 3340
- Lerderderg Library – Customer Service, 215 Main Street, BACCHUS MARSH VIC 3340

The amendment can also be inspected free of charge at the Department of Transport and Planning website at <http://www.planning.vic.gov.au/public-inspection> or by contacting the office on 1800 789 386 to arrange a time to view the amendment documentation.

#### **Submissions**

Any person may make a submission to the planning authority about the amendment. Submissions about the amendment must be received by [insert submissions due date].

A submission must be sent to: Moorabool Shire Council, PO Box 18, Ballan, Vic 3342.

#### **Panel hearing dates**

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- directions hearing: [insert directions hearing date]
- panel hearing: [insert panel hearing date]

**Details of the amendment**

**Who is the planning authority?**

This amendment has been prepared by the Moorabool Shire Council which is the planning authority for this amendment.

The amendment has been made at the request of Bacchus Marsh Property Group Pty Ltd (BMPG).

**Land affected by the amendment**

The amendment applies to land in Hopetoun Park North, located to the west of Hopetoun Park Road, that is currently included in the Farm Zone and is also affected by the Design and Development Overlay Schedule 2 (Visual Amenity and Building Design), and the Significant Landscape Overlay Schedule 1 (Scenic Hilltops and Ridge Line Area). The subject land is indicated within the red boundary in Figure 1.

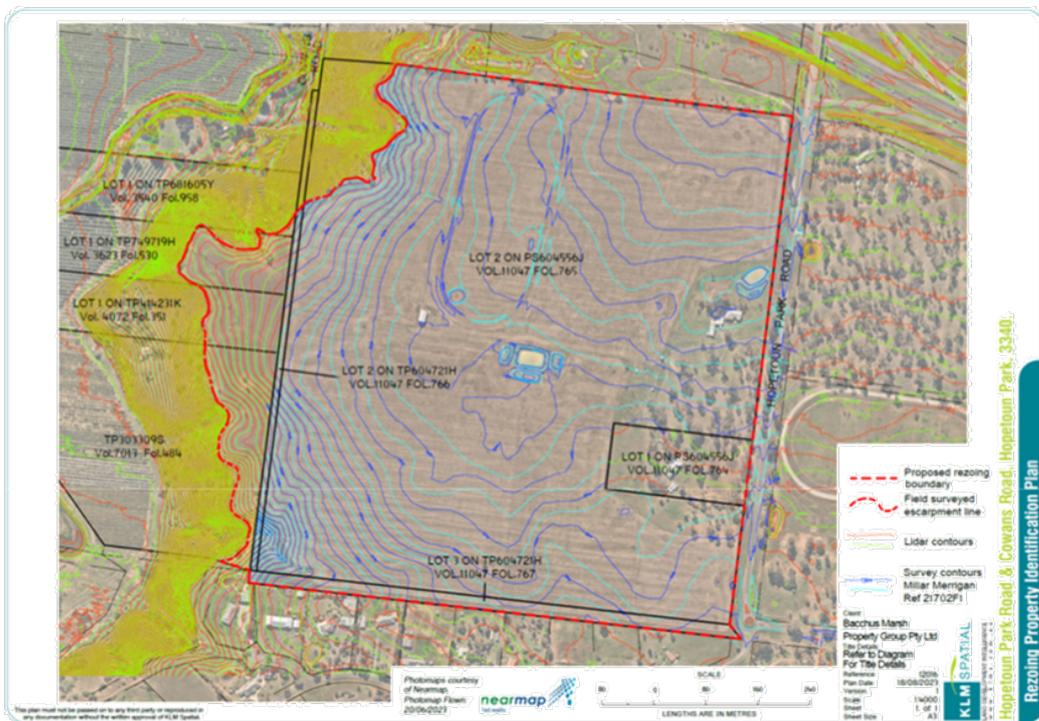


Figure 1: Land affected by the amendment

The details for each of the properties that form part of the amendment area are as follows:

- 124 Hopetoun Park Road comprising: Lot 2 PS604556J; Lot 2 TP604721H; Lot 3 TP604721H;
- 150 Hopetoun Park Road: Lot 1 PS604556J;
- Cowans Road comprising the eastern portion of lots: Lot 1 TP681605Y; Lot 1 TP749719H; Lot 1 TP414231K; TP303309S.

The subject land has an overall site area of approximately 62 hectares. The rezoning area is bound by the Western Freeway reservation to the north, Hopetoun Park Road to the east, existing low density residential development to the south and the edge of the escarpment to the west. In the case of the

western boundary, the escarpment edge has been defined by the distinct change of grade in that location.

**What the amendment does**

It is proposed to rezone all land within the red boundary (Figure 1) from the Farming Zone to the Neighbourhood Residential Zone Schedule 8. It is also proposed to delete the Design and Development Overlay Schedule 2 and the Significant Landscape Overlay Schedule 1; to apply the Development Plan Overlay Schedule 7 and Design and Development Overlay Schedule 17 to the whole of the land, and to apply the Environmental Significance Overlay Schedule 7 to the areas to be retained as conservation reserves.

A draft Concept Plan has been prepared as part of the supporting amendment documents, and forms part of the draft Development Plan Overlay schedule. The draft Concept Plan seeks to demonstrate the likely form that any future development plans and subdivision permit applications might take and has also been used as a basis for development contribution considerations. The draft Concept Plan is included as Figure 2.

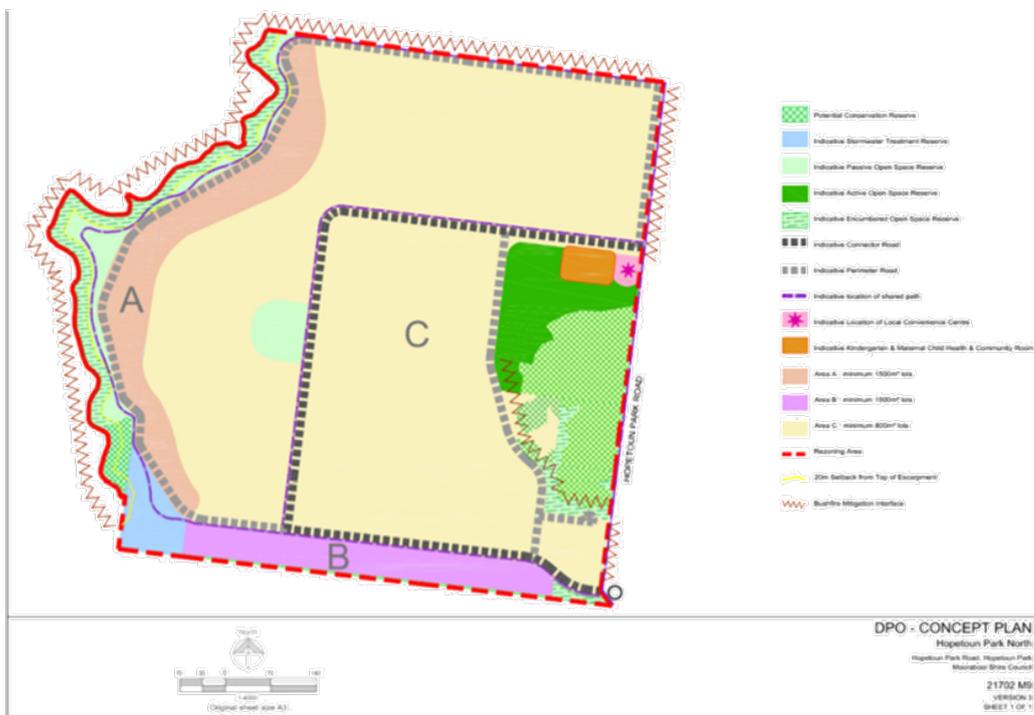


Figure 2: Draft Concept Plan

Specifically, the amendment makes the following changes to the Moorabool Planning Scheme:

**Zoning Maps**

- Amends Planning Scheme Maps Nos 38 and 47 to rezone the subject land from Farming Zone to Neighbourhood Residential Zone Schedule 8.

**Overlay Maps**

- Amends Planning Scheme Map Nos. 38SLO and 47SLO to delete the Significant Landscape Overlay Schedule 2 (SLO2) from the subject land.
- Amends Planning Scheme Maps Nos. 38DPO and 47DPO to apply the Development Plan Overlay Schedule 7 (DPO7) to the subject land.
- Amends Planning Scheme Maps Nos. 38DDO and 47DDO to delete the Design and

Development Overlay Schedule 2 (DDO2) from the subject land and applies the new Design and Development Overlay Schedule 17 (DDO17) in its place.

- Amend Planning Scheme Map Nos. 38ESO and 47ESO to apply the Environmental Significance Overlay Schedule 7 (ESO7) to identified areas of the subject land.

#### **Planning Scheme Ordinance**

- Inserts new Schedule 8 to Clause 32.09 (Neighbourhood Residential Zone).
- Amends Schedule to Clause 35.07 (Farming Zone)
- Inserts new Schedule 17 to Clause 43.02 (Design and Development Overlay).
- Inserts new Schedule 7 to Clause 43.04 (Development Plan Overlay).

#### **Strategic assessment of the amendment**

##### **Why is the amendment required?**

The amendment is required to facilitate the coordinated subdivision and development of the subject land for housing and associated infrastructure such as new roads, parks and drainage reserves.

The subject land has been identified as forming part of a growth precinct in the Planning Scheme at Clauses 02.03-1 (Settlement) and 11.01-1L-02 (Bacchus Marsh), and in the Bacchus Marsh Urban Growth Framework. The amendment will implement the policy directions of these clauses and the Urban Growth Framework. The Residential Supply and Demand Assessment undertaken by Ethos Urban in support of this amendment identifies that additional residential land supply is required in Bacchus Marsh and Ballan.

##### **How does the amendment implement the objectives of planning in Victoria?**

Consistent with the objectives set out in Section 4 of the *Planning and Environment Act 1987* the amendment will:

- Provide for the fair, orderly, economic and sustainable use of land by facilitating the rezoning of the land for residential purposes, including applying planning provisions to ensure its coordinated and logical development, in a designated growth precinct and in a town that is identified for major growth in both Plan Melbourne and the Central Highlands Regional Growth Plan.
- Provide appropriate protection for areas of environmental sensitivity on and adjoining the land.
- Secure a pleasant and safe living and recreational environment for future residents as well as existing residents of Hopetoun Park, including through the provision of new local retail and community facilities.
- Ensure an appropriate response to areas of visual sensitivity through the use of planning provisions to guide the design and layout of future subdivision and development.
- Facilitate development in accordance with the planning objectives which will result in a well-planned outcome.

##### **How does the amendment address any environmental, social and economic effects?**

###### *Environmental Effects*

The proposed amendment is not expected to result in any significant environmental effects. A comprehensive flora and fauna assessment has been undertaken for the whole of the subject land by Nature Advisory (August 2023) and is exhibited as part of this amendment. The Nature Advisory assessment found that whilst the majority of the subject land comprises cropped farmland, there are

two areas of ecological significance on the site, comprising 2.565 hectares of Plains Woodland centrally located along Hopetoun Park Road, in the east of the subject land as well as 0.425 hectares of Plains Grassland located in the southwest corner of the subject land.

Both these areas are proposed to be retained as conservation reserves as shown on the draft Concept Plan. In addition, the Nature Advisory report recommends the implementation of a Land Management Plan as part of future planning approval processes (i.e. Development Plan and permit for subdivision) to ensure conservation areas are managed appropriately. As a result of these areas being retained, Nature Advisory considers that there will be no impact to any species that are likely to use the areas as habitat, as no removal is proposed.

In addition to the retention of these areas in conservation reserves, Nature Advisory also recommended that entrances to the proposed subdivision should be sited to avoid impacts to native vegetation recorded in the Hopetoun Park road reserve and that buffers should be provided adjoining the edge of the escarpment in the west of the subject land as a reserve and around retained grassland to prevent impacts to remnant vegetation. As a result of these measures, there are not expected to be any significant impacts to flora or fauna on the subject land.

In terms of cultural heritage, the northwest corner of the subject land is located within an area of Aboriginal Cultural Heritage Sensitivity as the land is located within 200 metres of a named waterway. There is also one registered heritage place within the subject land. Accordingly, a Cultural Heritage Management Plan will be required prior to a planning permit being issued in the future for the subdivision of the subject land. In addition, it is noted that the rezoning and the proposed future subdivision of the subject land has been discussed with the relevant Traditional Owner organisation, the Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation.

Drainage has also been appropriately considered for the proposal noting that a Stormwater Management Plan has been prepared by Afflux Consulting, which utilised the findings of geomorphological and geotechnical reports (by Brizga Environmental and Black Geotechnical respectively) to inform its preparation. The Stormwater Management Plan outlines the major drainage requirements for the subject land, including the location of a stormwater treatment reserve in the south west corner of the site and associated requirements in relation to outfall location and structures as well as Zero Additional Maintenance (ZAM) treatments. As a result of the proposed approach to stormwater management, the geotechnical report concluded that the rate of the erosion processes affecting the escarpment will be reduced by the future development due to the substantial improvement in drainage conditions proposed. Accordingly, it is considered that any potential environmental impacts as a result of drainage issues will be minimal, and in fact there will be improvements in terms of reducing erosion of the escarpment.

The potential for soil contamination has also been considered, with confirmation by Helia EHS Pty Ltd that the land is not potentially contaminated (refer to the discussion on Ministerial Direction 1 for further information in relation to this issue).

#### *Social and Economic effects*

The proposed amendment is expected to result in a range of positive social and economic effects, as outlined below:

- The rezoning will assist in ensuring that adequate land is available to meet the future demand for housing in Bacchus Marsh, noting the different offering that will be available at Hopetoun Park (in terms of lot size and location) compared to the other two key residential growth areas in Bacchus Marsh at Merrimu and Parwan Station. The findings of the Ethos Urban Residential Supply and Demand Assessment identified that additional land supply is required in Bacchus Marsh.
- The application of appropriate overlay controls will ensure that the character and feel of the growth precinct, when developed, is appropriate in the context of both the existing Hopetoun Park low density residential area and the unique physical attributes of the precinct.
- The rezoning will facilitate the provision of a Local Convenience Centre which is expected to ultimately accommodate retail floorspace of some 540 square metres, and which is expected to initially comprise a combined general store and café type business.

- The rezoning will also facilitate the provision of community services comprising a community room, a kindergarten and a maternal child health centre. These facilities will not only service the new residents of the growth precinct but will also service the existing residents of the Hopetoun Park low density residential area.
- The proposal will provide additional and expanded open space and sporting facilities for the future residents of the growth precinct, as well as the existing residents of Hopetoun Park.
- The rezoning will facilitate road upgrades that will provide improved access for both existing and future residents.

#### **Does the amendment address relevant bushfire risk?**

The future residential development of the subject land once it has been rezoned to the Neighbourhood Residential Zone has been assessed by South Coast Bushfire Consultants in its Bushfire Risk Assessment – Response to Clause 13.02 (August 2023). The assessment has been prepared in consultation with the CFA and demonstrates that the amendment meets bushfire policy included at Clause 13.02 of the Planning Scheme as outlined below.

#### *Protection of human life*

The Bushfire Risk Assessment concludes that the proposed rezoning appropriately prioritises the protection of human life. The bushfire risks to the future development of the land have been considered carefully at this rezoning stage, noting that the site is within the Bushfire Prone Area of the state but not in the BMO and is not in a landscape at a high risk from bushfire. The draft Concept Plan demonstrates that central areas of the site can provide areas exposed to low levels of radiant heat. These low risk locations are able to provide new and existing residents of Hopetoun Park with access to areas that have a low radiant heat exposure, thus enabling human life to be better protected from the effects of a bushfire.

The Bushfire Risk Assessment also finds that the proposal will assist in reducing vulnerability of communities by the consideration of bushfire risk in decision making. This is demonstrated by the development layout proposed by the draft Concept Plan, and the mitigation measures proposed as part of the Risk Assessment which are proposed to be implemented through the new Development Plan Overlay and Design and Development Overlay schedules.

#### *Bushfire Hazard Identification and Assessment*

The Bushfire Risk Assessment finds that the proposed amendment responds appropriately to key strategies that seek to ensure the best available science is used when considering rezoning proposals in the context of bushfire risk. In relation to this issue the Bushfire Risk Assessment highlights the following:

- There are no large areas of unmanaged vegetation within proximity to the site and the application of the BMO is not deemed necessary.
- The landscape, local and neighbourhood conditions in relation to the subject land have all been considered and are clearly documented in the Bushfire Risk Assessment.
- Emergency services have been consulted through the rezoning planning process. This includes receiving written comments and meeting with the Country Fire Authority (CFA) and seeking feedback on the Bushfire Risk Assessment and draft bushfire related requirements to include in the Development Plan Overlay and Design and Development Overlay schedules.
- Appropriate bushfire protection measures are proposed for inclusion in the Development Plan Overlay and Design and Development Overlay schedules, including in relation to subdivision layout, location of perimeter roads, appropriate setback distances to achieve a BAL of 12.5, minimum construction requirements of Bushfire Prone Areas, and the provision of areas exposed to a BAL of Low.

#### *Settlement Planning*

The Bushfire Risk Assessment finds that the proposed rezoning demonstrates appropriate

consideration of and compliance with the relevant strategies associated with Settlement Planning, outlined at Clause 13.02, as follows:

- The Concept Plan provides the framework for an appropriate subdivision design where future dwellings will not be exposed to radiant heat levels that exceed 12.5kW/m<sup>2</sup> and which ensures the availability of, and access to, areas of BAL-LOW.
- The Bushfire Risk Assessment highlights that there will be no increase in risk to existing or future residents, or property and community infrastructure as a result of future development.
- The Bushfire Risk Assessment includes appropriate consideration of bushfire hazards posed to the future development of the subject land including likely bushfire behaviour the hazard will produce at a landscape, settlement, local, neighbourhood and site scale, including the potential for neighbourhood-scale destruction. In considering these issues the Assessment concludes that identified hazards can be dealt with through subdivision design and construction requirements and setback distances to ensure radiant heat exposures do not exceed 12.5kW/m<sup>2</sup>.

#### *Areas of Biodiversity Conservation Values*

The amendment responds appropriately to this policy direction and proposes to retain a woodland and grassland area within the site, both of which are to be protected within the subdivision and where appropriate design and setback distances from these areas are proposed to ensure they do not expose future development to radiant heat loads greater than 12.5kW/m<sup>2</sup>.

#### **Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?**

The amendment complies with the requirements of the Ministerial Direction – The Form and Content of Planning Schemes (Section 7(5) of the Planning and Environment Act 1987 (the PE Act)).

#### *Direction 1: Potentially Contaminated Land*

The amendment complies with Ministerial Direction 1 Potentially contaminated land. It is a requirement of the Direction that '*in preparing an amendment which would have the effect of allowing (whether or not subject to the grant of a permit) potentially contaminated land to be used for a sensitive use, agriculture or public open space, a planning authority must satisfy itself that the environmental conditions of that land are or will be suitable for that use*'.

A Preliminary Site Investigation (PSI) was undertaken by Edge Group and issued to Council and the EPA for review. The EPA provided comment on the PSI, seeking further clarification as to whether the subject land is either potentially contaminated or not.

Additional work was subsequently undertaken by Helia EHS Pty Ltd (previously named Edge Group) which included remediation of a small area of the subject land that had been originally assessed as having the potential for marginal soil contamination (comprising farm sheds located at 124 Hopetoun Park Road). Upon completion of the remediation work, written advice was provided by Helia EHS Pty Ltd confirming that the subject land is not potentially contaminated, in compliance with this Ministerial Direction.

#### *Direction 11 – Strategic Assessment of Amendments*

The amendment complies with Ministerial Direction No. 11: (Strategic Assessment of Amendments) under Section 12 of the PE Act. The amendment is consistent with this direction which requires a comprehensive strategic evaluation of a planning scheme amendment and the outcomes it produces. This explanatory report provides this evaluation of the amendment.

#### *Direction 18 - Victorian Planning Authority Advice On Planning Scheme Amendment*

The amendment complies with Ministerial Direction 18. This Direction provides opportunity for a planning authority to seek, and have regard to, the advice of the Victorian Planning Authority (VPA) when preparing an amendment to rezone land in relation to which the Authority has, or has previously

been directed, to provide advice. Council sought the advice of the VPA as provided for by this direction and the VPA advised that the amendment did not conflict with any projects on the VPA's work program.

*Direction 19 - Part A: The Preparation and Content of Amendments that may Significantly Impact the Environment, Amenity and Human Health*

The amendment complies with Ministerial Direction 19. Minister's Direction 19 - Part A requires that in reviewing a planning scheme under Section 12B of the PE Act, or preparing a planning scheme amendment, a planning authority must seek the written views of the EPA about the potential impacts of the proposed review or amendment. This includes consideration of any strategies, policies, plans or reviews that form the strategic basis for the amendment (including precinct structure plans) on the environment, amenity and human health and for a planning scheme amendment to include in the explanatory report a statement of how the proposed amendment addresses those views.

Pursuant to the requirements of this Ministerial Direction the amendment request was referred to the EPA for comment (noting that the matters associated with contamination have been discussed already in relation to Ministerial Direction 1).

In response to Council's referral the EPA provided commentary on the Traffic Noise impact Assessment prepared by Arup and also requested consideration of any existing or proposed industries in proximity to the site with separation distances that could be impacted by the amendment.

In response to the EPA comments in relation to noise, a written response by Arup was prepared as well as an updated report, which addresses the additional considerations raised by the EPA.

The issues associated with existing or proposed industries were addressed by advice prepared by CK Prowse and Associates in relation to Extractive Industry Interest Area to the north of the Western Freeway and in the Residential Interface Impacts, by Phillips Agribusiness, in relation to the interface of the site with the Bacchus Marsh Irrigation District (BMID) land to the west of the subject land, at the base of the escarpment.

**How does the amendment support or implement the Planning Policy Framework and any adopted State policy?**

The amendment is consistent with the following clauses of the Planning Policy Framework and will assist in achieving objectives of the clauses.

*Clauses 11.01-1S Settlement, Clause 11.01-1R Settlement – Central Highlands and Clause 11.01-1L-Settlement in Moorabool*

The proposed rezoning will result in the provision of additional land for residential development which gives effect to the directions of the above clauses, as well as the Central Highland Growth Plan and Plan Melbourne/the Plan Melbourne Addendum (all of which are policy documents to Clause 11). These clauses and policy documents identify Bacchus Marsh as a focus area for growth. In the case of Plan Melbourne, the rezoning is also consistent with key elements of the policy direction for 20 minute neighbourhoods including offering a safe and accessible shared path network, a high quality public realm and open space, and providing community and retail services in a location where there are currently no service available to the existing community at Hopetoun Park.

*Clause 11.01-1L-02 Bacchus Marsh*

The proposed rezoning is clearly consistent with the strategies of this clause all of which relate specifically to Bacchus Marsh and reference both the Bacchus Marsh Urban Growth Framework Plan (UDF) as well as identifying the UDF document as a policy document. This clause highlights the importance of any residential growth at Hopetoun Park including community facilities/amenities, and the proposal clearly responds to this by proposing a central community hub area that includes a kindergarten, maternal and child health centre and community room, as well as commercial floorspace of approximately 540 square metres, all of which is to be co-located with an open space reserve containing a district park.

The rezoning also supports the Hopetoun Park specific strategy in relation to facilitating connectivity as it will result in improved connectivity for the existing Hopetoun Park residents by providing appropriate traffic works to support the proposed rezoning. This includes the provision of a roundabout at the Hopetoun Park Road/Western Freeway entry ramp intersection and an additional turn lane constructed at the Hopetoun Park leg at the Hopetoun Park Road/Old Western Highway intersection.

In addition, the rezoning is consistent with the policy documents included at this clause (noting the Urban Growth Framework is discussed in greater detail later in this report).

*Clause 11.02-1S Supply of Urban Land*

Consistent with the directions of this clause, the rezoning will facilitate the supply of land in Bacchus Marsh to ensure that there is adequate land supply to accommodate projected population growth over at least a 15 year period, and highlighting again the findings of the Residential Supply and Demand Assessment by Ethos Urban which concludes that additional land supply is required in Bacchus Marsh with a degree of urgency.

*Clause 11.02-2S Structure Planning and Clause 11.02-2L Structure Planning in Moorabool*

Clause 11.02-2S identifies the importance of structure planning to facilitate the orderly development of urban areas, whilst Clause 11.02-2L includes as a strategy the need to manage urban growth through the use of Development Plans or Precinct Structure Plans. The rezoning is consistent with these clauses as it responds to the strategic directions for future residential growth identified in the Bacchus Marsh Urban Growth Framework and seeks to apply a Development Plan to the proposed growth precinct to ensure appropriate planning is undertaken.

*Clause 11.02-3S Sequencing of development*

The rezoning is also consistent with the relevant strategies of this clause and seeks to put in place community facilities, including the provision of a café/general store at the proposed Local Convenience Centre as well as a kindergarten, maternal child health centre and community room.

*Clause 11.03-3S Peri urban areas*

The rezoning is appropriate in the context of Clause 11.03-3S Peri urban areas, proposing the rezoning of land for lower density residential purposes in a town that has been identified for growth and on land that has also been identified as being appropriate for residential development, taking into account the character of the surrounding area and the need to maintain an appropriate break between the urban area of Melton.

*Clause 12.01-1S Protection of biodiversity, Clause 12.01-1L Biodiversity and 12.01-2S Native Vegetation Management*

The proposed development is not expected to impact areas of significant biodiversity. It is proposed to retain an existing Grey Box woodland area on the site as well as retaining a grassland area, with both proposed to be conservation reserves with appropriate buffers around them. In addition, areas adjacent to the escarpments are proposed to be retained for open space purposes, and site entrances to any future subdivision are to be sited to avoid impacts to native vegetation. These measures, in conjunction with more detailed management measures outlined in the Flora and Fauna Assessment by Nature Advisory, will ensure the rezoning gives effect to these strategies.

*Clause 12.05-2S Landscape, Clause 12.05-2R Landscapes – Central Highlands and Clause 12.05-2L Landscapes in Moorabool*

Consistent with the strategies outlined at these clauses, the proposed rezoning has carefully considered the landscape surrounding the subject land, including the escarpment and the need to minimise visual impacts to it from future development, as well as the agricultural land to the west. In response to these considerations the amendment proposes various planning controls, including minimum lot areas, setback requirements to the escarpment and the location of linear open space along the escarpments.

*Clause 13.02-1S Bushfire Planning*

The amendment meets the requirements for bushfire protection, minimisation and management as discussed earlier in the explanatory report under 'Bushfire Risk'.

*Clause 13.04-1S Contaminated and potentially contaminated land*

The proposed rezoning appropriately considers the policy directions outlined at Clause 13.04-1S as discussed earlier in the explanatory report in relation to Ministerial Direction 1.

*Clause 13.04-2S Erosion and landslip*

The rezoning appropriately considers the objectives and strategies that relate to erosion and landslip as outlined at Clause 14.04-2S, with the Interpretive Geotechnical Investigation confirming that there are no landslide risk concerns for the future development of the subject land, and that as a result of future development, existing erosion processes on the western escarpment will be slowed due to the improvement in drainage conditions that will result from future development.

*Clause 13.05-1S Noise Abatement*

The proposed rezoning is consistent with the requirements of Clause 13.05-1S Noise Abatement, with the Traffic Noise Assessment that has been prepared, demonstrating that there will be no unreasonable noise impacts to future residences on the site as a result of the adjoining freeway, and that there is no need for any mitigation measures to be implemented for the subject land.

*Clause 13.07-1S Land use compatibility*

The proposed rezoning also takes into consideration the issue of land use compatibility as required by Clause 13.07-1S. The rezoning and subsequent development of the land for residential purposes will not impact adjoining land uses, comprising the existing low density residential area to the south, the productive farmland/market garden uses located to the west at the base of the escarpment, and the farming land to the north of the Western Freeway. The interface of the proposal with the BMID land to the west has been addressed in detail in the Phillips Agribusiness report which confirms that the proposed rezoning and the market gardens to the west, can comfortably continue with no impacts anticipated to either land use. The potential for there to be extractive industry to the north of the freeway in the future has also been considered, with advice by CK Prowse and Associates confirming that any potential extractive industry in that location would be highly unlikely.

*Clause 14.01-1S Protection of agricultural land*

The amendment is consistent with the objectives and strategies of this clause. The proposed rezoning will not result in the loss of highly productive farmland – noting that whilst the BMPG land is used for cropping, the landholding is small (in agricultural terms) and there are also challenges (from an agricultural perspective) of farming land directly abutting low density residential development.

In comparison, the irrigated agricultural land to the west, at the base of the escarpment, is highly productive. The rezoning of the subject land is considered appropriate in the context of this clause, as the irrigated agricultural land to the west will not be impacted as a result of the future development of the land, as discussed in greater detail in the Phillips Agribusiness report.

*Clauses 14.02-1S Catchment planning and management and Clause 14.02-2S Water Quality*

The subject land is able to be appropriately serviced and to manage and accommodate stormwater flows, consistent with the strategies of Clauses 14.02-1S and 14.02-2S, and as detailed in the Stormwater Management Plan prepared for the amendment by Afflux Consulting. The provision of the necessary infrastructure is proposed to be managed via appropriate development contributions and has been designed to ensure no impacts to adjoining land from run off.

*Clause 14.03-1S Resource exploration and extraction*

The rezoning also responds appropriately to Clause 14.03-1S which seeks to protect the opportunity for exploration and extraction of natural resources, noting that the land to the north of the Western Freeway is considered unsuitable for the development of an extractive industry, for a range of reasons as outlined in the CK Prowse and Associates advice.

*Clauses 15.01-1S Urban design, 15.01-1L Urban design, 15.01-3S Subdivision design, Clause 15.01-4S Healthy Neighbourhoods, Clause 15.01-5S and Clause 15.01-5L*

The proposed amendment will facilitate the establishment of high-quality, lower density greenfield development consistent with the relevant objectives and strategies of these clauses. This is demonstrated by the draft Concept Plan, with the proposed layout of the subdivision taking into account the requirements of Clause 56, but with a particular focus on both the character of the Hopetoun Park residential area, as well as the unique physical features of the growth precinct. This includes the escarpment and the ecological value of the woodland area, all of which combined sets up a 'framework' for a neighbourhood that will foster healthy and active living and community.

*Clause 15.03-2S Aboriginal cultural heritage*

As discussed earlier in this explanatory report, there is an area of identified cultural heritage significance on the edge of the proposed precinct and one registered aboriginal cultural heritage place in the western portion, and so it is acknowledged that a CHMP will need to be undertaken for those areas prior to the issue of a planning permit for the future subdivision.

*Clauses 16.01-1S Housing Supply and Clause 16.01-1L Housing supply in Moorabool*

The proposal is consistent with Clauses 16.01-1S and 16.01-1L and will support the provision of additional housing supply in a greenfield area of Bacchus Marsh including new lots that are highly accessible to open space areas, and new retail and community facilities.

*Clause 17.02-1S Business*

The proposed rezoning and accompanying draft Concept Plan are consistent with the relevant strategies of Clause 17.02-1S by proposing the provision of a small Local Convenience Centre with the intent that a small general store/café use will be established.

*Clauses 18.01-1S Land use and transport integration, 18.01-2S Transport system, 18.01-3S Sustainable and safe transport and Clause 18.02-4L Road system*

Appropriate consideration has been given to traffic and transport issues consistent with the relevant objectives and strategies of these clauses. The rezoning will facilitate effective pedestrian and vehicular movements internally, with an extensive shared path network proposed, as well as externally via improved access to the Western Freeway and Old Western Highway and a shared path connection to Cowan's Road to the northwest.

*Clause 19.02-2S Education facilities and Clause 19.02-4S Social and cultural infrastructure*

The proposal will result in the provision of additional community infrastructure, including a kindergarten and maternal child health centre, consistent with the policy directions of Clauses 19.02-2S and 19.02-4S which seek to ensure appropriate planning and provision is made for education facilities and community and social infrastructure.

*Clause 19.02-6S Open space and Clause 19.02-6L Open space in Moorabool*

Consistent with Clauses 19.02-4S and 19.02-6L, and as outlined in the Open Space and Landscape Report by Weir and Co, the amendment seeks to implement a network of public open space for the subject land that is highly connected and that will respond to the anticipated needs of the future Hopetoun Park North West community.

*Clause 19.03-2S Infrastructure design and provision and Clause 19.03-2L Infrastructure design and provision*

These clauses relate to the provision of infrastructure including the need for it to be provided in a timely and integrated manner in a way that is consistent across the Shire. The proposed rezoning is consistent with the directions of these clauses and seeks to implement appropriate infrastructure via a Section 173 agreement in association with the future subdivision of the land.

*Clauses 19.03-3S Integrated water management and 19.03-3L Integrated water management*

The amendment is consistent with these clauses and includes a detailed Stormwater Management Plan that is reflected in the planning controls and in the draft Concept Plan prepared as part of the amendment.

**How does the amendment support or implement the Municipal Planning Strategy?**

The amendment is consistent with the following clauses of the Municipal Planning Strategy and will assist in achieving objectives of the clauses as follows.

- The key clause of relevance to the rezoning is Clause 02.03-1 Settlement which includes a specific discussion on Bacchus Marsh, and which refers to the Bacchus Marsh Urban Growth Framework which is a policy document in the Planning Scheme. The amendment responds to the key requirements included in the Urban Growth Framework. These include consideration of matters such as:
  - provision of local level community infrastructure
  - improvement of road connectivity with the Western Freeway
  - identification of the existing character of Hopetoun Parka and establishment of principles for a preferred character
  - minimising impacts to the landscape and adjoining land uses; protection and management of areas of significant habitat
  - identification of new public open space networks and provision for their integration with existing networks
  - appropriate response to bushfire risk, provision for sustainable water management
  - confirmation of minimal impacts to the Bacchus Marsh Irrigation District
  - other detailed planning considerations relating to the zoning of the land and land use interfaces.
- The amendment gives appropriate consideration to the Shire's natural environment and rural identity as required by Clause 02.03-2 Environmental and landscape values, including by maintaining appropriate visual buffers to the growth precinct's boundaries, proposing larger lots around the escarpment area and along the southern boundary of the subject land, proposing appropriate built form setbacks to ensure separation of future dwellings and adequate areas for landscaping, and proposing fencing controls to ensure the rural 'feel' of Hopetoun Park is maintained.
- The amendment also considers environmental risks, consistent with Clause 02.03-3 Environmental risks and amenity including appropriately managing bushfire risk.
- The rezoning and subsequent future development is also entirely consistent with Clause 02.03-4 Natural resource management and is not expected to impact the BMID to its west.
- The draft Concept Plan that has been prepared for the rezoning provides for an urban structure that will ensure the provision of a healthy and active neighbourhood that also respects the character of existing residential development at Hopetoun Park, consistent with Clause 02.03-5 Built Environment and Heritage.

- The rezoning will give effect to Clause 02.03-6 Housing providing additional housing opportunities in Bacchus Marsh including larger lots around the west and south sides of the subject land.
- The proposal also responds to Clause 02.03-8 Transport and will offer improved connectivity for existing residents at Hopetoun Park to the Western Freeway and the Old Western Highway.
- Consistent with Clause 02.03-9 Infrastructure, the rezoning proposes extensive open space areas and recreation facilities for future residents that will also be of benefit to the existing Hopetoun Park community.

#### **Does the amendment make proper use of the Victoria Planning Provisions?**

The amendment makes appropriate use of the VPPs. It is proposed to rezone the land to the Neighbourhood Residential Zone with an accompanying schedule that specifies a minimum lot area of 800 square metres. This is consistent with the Bacchus Marsh UGF which suggests the application of either the Low Density Residential Zone or the Neighbourhood Residential Zone for Hopetoun Park. The Low Density Residential Zone is not appropriate due to the minimum lots size of 0.2 hectares in that Zone. This means the Neighbourhood Residential Zone is the preferred zone from a policy perspective, which is appropriate taking into account the nature of the growth area and the purpose of the zone which includes to *'manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics'*.

As part of the amendment, it is also proposed to apply the Development Plan Overlay, Design and Development Overlay and the Environmental Significance Overlay to the land. The use of three different overlays make proper use of the VPPs for the following reasons:

- Clause 11.02-2L refers to the use of a Development Plan to guide development and manage urban growth. Therefore, the use of the Development Plan Overlay is as required by relevant policy and appropriate, highlighting one of its purposes is to *'identify areas which require the form and conditions of future use and development to be shown on a development plan before a permit can be granted to use or develop the land'*.
- A Neighbourhood Character Assessment and Landscape and Visual Amenity and Design Guidelines report was prepared by Hansen Partnership. This Assessment addresses a range of siting and design issues which was translated into the planning controls for the amendment to appropriately manage future development of the site.
- Whilst some elements of the Hansen recommendations are able to be addressed via the Development Plan Overlay, there are some elements of the recommendations (particularly in relation to the setback of dwellings on lots, for example) which are more appropriately located in a Design and Development Overlay which includes as an objective *'to identify areas which are affected by specific requirements relating to the design and built form of new development'*. For this reason, the Design and Development Overlay is also proposed to be applied to the site.
- As part of the referral process to authorities, the Department of Energy Environment and Climate Action (DEECA) advised that it considered the conservation areas identified on the draft Concept Plan should be offered an additional layer of protection by the application of the ESO7. Accordingly, the application of ESO7 is proposed.

The three overlay controls, in conjunction with the Neighbourhood Residential Zone make appropriate use of the VPPs.

As part of the amendment, it is also proposed to remove the existing Design and Development Overlay Schedule 2 that applies to the land, in addition to the Significant Landscape Overlay Schedule 1. This represents an appropriate planning outcome and use of the VPPs noting the following:

- In the case of Design and Development Overlay Schedule 2, it seeks to control visual amenity and building design in agricultural areas, usually land that is in the Farm Zone. It is not an appropriate control to retain for a greenfield residential area.
- In the case of Significant Landscape Overlay Schedule 1, the landscape character objectives to be achieved have been considered in the preparation of the amendment, and in the various siting and design controls that are proposed to be applied by the new Development Plan Overlay and Design

and Development Overlay. Accordingly, this overlay would be superseded upon application of the proposed controls. In addition, it is noted that the requirement under SLO1 for a planning permit to be required for all buildings and works is an inappropriate level of control for a growth precinct, particularly given the detailed nature of the overlay controls that are proposed to be applied in its place.

**How does the amendment address the views of any relevant agency?**

The views of all relevant agencies were sought by Council following lodgement of this amendment request and can be summarised as follows:

- The responses from the Country Fire Authority, Environment Protection Authority, Department of Transport and Planning, DEECA and Victoria Planning Authority to the referral of the amendment have all been considered in the preparation of the Planning Scheme Amendment.
- The views of Melbourne Water, Southern Rural Water (SRW) and Greater Western Water (GWW) have also been considered in the Stormwater Management Plan.
- The amendment was also referred to Heritage Victoria, Ausnet Gas Services, and Melbourne Airport, all of which responded with no objection.
- The amendment was referred to the Department of Jobs, Precincts and Regions however no response was provided.
- The amendment was also referred to Powercor however no response was provided.

In addition to the above the views of the relevant Traditional Owner organisation, the Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation, were also sought by BMPG during the preparation of the cultural heritage advice.

**Does the amendment address relevant requirements of the *Transport Integration Act 2010*?**

The amendment will not have a significant impact on the transport system. While the proposal will result in increases in traffic to Hopetoun Park, additional traffic generation has been considered as part of the rezoning proposal and appropriate mitigation measures (as agreed to by DTP as part of pre-application consultation) are proposed. Accordingly, it is considered that the proposal is appropriate in the context of the requirements of the Transport Integration Act 2010.

**Resource and administrative costs**

**What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

This amendment is not expected to have significant impact on the administrative costs of the responsible authority. Whilst Council resources will be required to facilitate the approval of a Development Plan and subdivision permit once the subject land is residentially rezoned, beyond that there will be limited need for further planning approvals for dwellings. A future commercial rezoning will be required to deliver the local activity centre. The additional resourcing that will be required to put the planning framework in place for the subject land is not unreasonable and is necessary to ensure ongoing availability of residential land consistent with the Municipal Planning Strategy in Bacchus Marsh.

*Planning and Environment Act 1987***MOORABOOL PLANNING SCHEME****AMENDMENT C103MOOR****INSTRUCTION SHEET**

The planning authority for this amendment is the Moorabool Shire Council.

The Moorabool Planning Scheme is amended as follows:

**Planning Scheme Maps**

The Planning Scheme Maps are amended by a total of ten attached map sheets.

**Zoning Maps**

1. Amend Planning Scheme Map Nos 38 and 47 in the manner shown on the attached maps marked "Moorabool Planning Scheme, Amendment C103moor".

**Overlay Maps**

2. Amend Planning Scheme Map No 38SLO and 47SLO in the manner shown on the attached maps marked "Moorabool Planning Scheme, Amendment C103moor".
3. Amend Planning Scheme Map No 38DPO and 47DPO in the manner shown on the attached maps marked "Moorabool Planning Scheme, Amendment C103moor"
4. Amend Planning Scheme Map No 38DDO and 47DDO in the manner shown on the attached maps marked "Moorabool Planning Scheme, Amendment C103moor"
5. Amend Planning Scheme Map No 38ESO and 47ESO in the manner shown on the attached maps marked "Moorabool Planning Scheme, Amendment C103moor"

**Planning Scheme Ordinance**

The Planning Scheme Ordinance is amended as follows:

6. In **Zones** –Clause 32.09, insert a new Schedule 8 in the form of the attached document.
7. In **Zones** –Clause 35.07, amend the existing Map 1, Sheet 1 in the Schedule as in the attached document.
8. In **Overlays** – Clause 43.02, insert a new Schedule 17 in the form of the attached document.
9. In **Overlays** – Clause 43.04, insert a new Schedule 7 in the form of the attached document.

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**System Note: The following schedule will be inserted after Sub-Clause:32.09  
NEIGHBOURHOOD RESIDENTIAL ZONE, Schedule:SCHEDULE 7 TO CLAUSE 32.09  
NEIGHBOURHOOD RESIDENTIAL ZONE**

C103moor

**SCHEDULE 8 TO CLAUSE 32.09 NEIGHBOURHOOD RESIDENTIAL ZONE**

Shown on the planning scheme map as **NRZ8**.

**HOPETOUN PARK NORTH GROWTH AREA**

**1.0**

**Neighbourhood character objectives**

C103moor

To establish an open and spacious neighbourhood character including through the establishment of larger lots around the perimeter of the new residential area.

To provide development that is respectful of the existing open and spacious character of Hopetoun Park through the implementation of front, rear and side setbacks that provides adequate area for appropriate landscaping.

To increase the presence of indigenous and native vegetation both within the public and private realms, particularly canopy trees, to reinforce the open woodland character of the area.

To strengthen habitat corridors between waterways, conservation reserves, and grassland to the east.

**2.0**

**Minimum subdivision area**

C103moor

The minimum lot size for subdivision is 800 square metres.

**3.0**

**Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot**

C103moor

	Requirement
Permit requirement for the construction or extension of one dwelling on a lot	None specified
Permit requirement to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot	None specified

**4.0**

**Requirements of Clause 54 and Clause 55**

C103moor

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

**5.0**

**Maximum building height requirement for a dwelling or residential building**

C103moor

None specified.

**6.0**

**Application requirements**

C103moor

None specified.

7.0  
C103moor

**Decision guidelines**

None specified.

**System Note: The following ordinance will be modified in Sub-Clause:35.07 FARMING ZONE, Schedule:SCHEDULE TO CLAUSE 35.07 FARMING ZONE**

1.0  
C103moor

**Subdivision and other requirements**

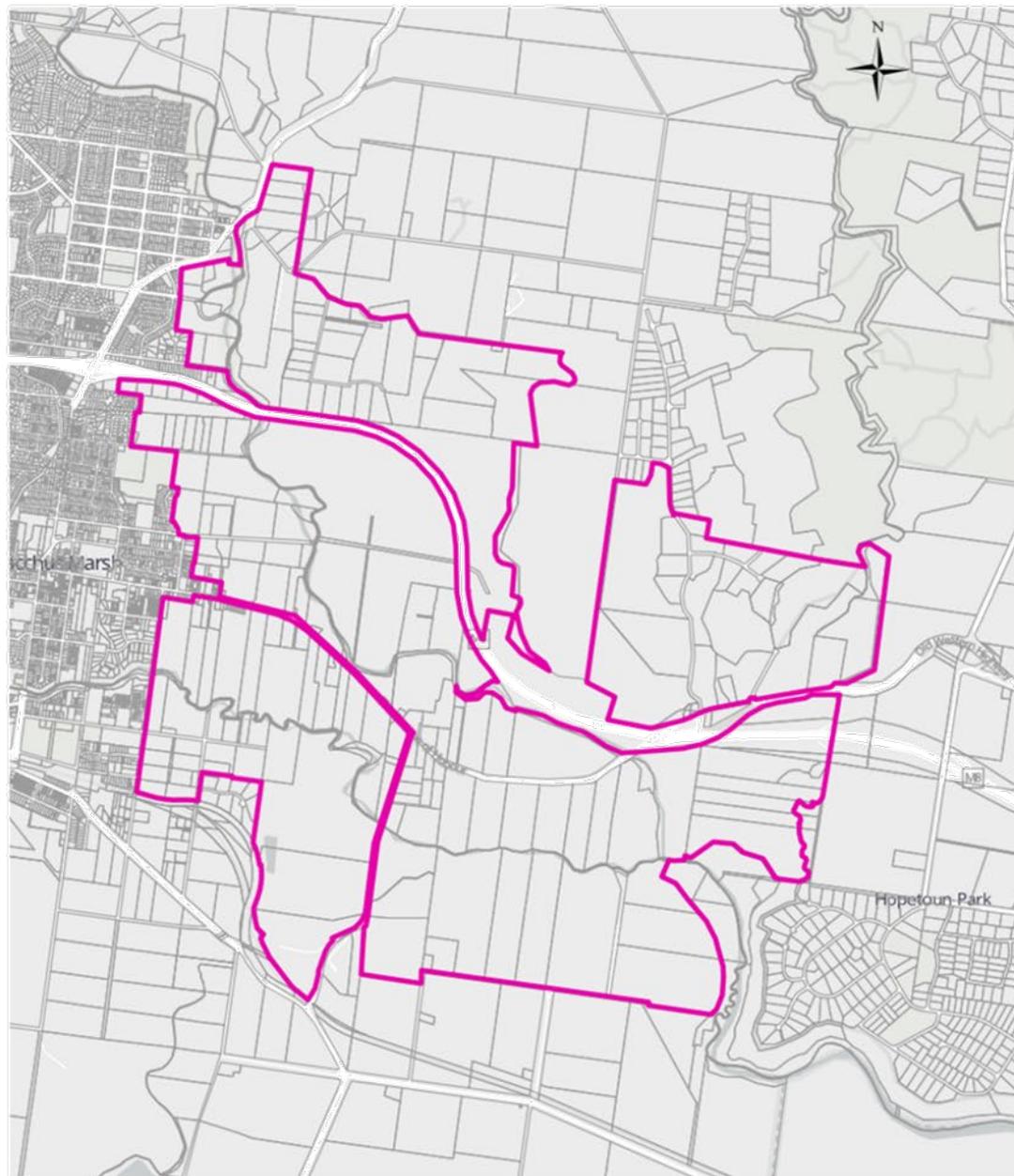
	<b>Land</b>	<b>Area/Dimensions/Distance</b>
Minimum subdivision area (hectares)	Land shown on <i>Map 1 to the schedule to the Farming Zone</i> (Sheets 1, 2 and 3) attached to this schedule	15 hectares
	All other land	100 hectares
Minimum area for which no permit is required to use land for a dwelling (hectares)	Land shown on <i>Map 1 to the schedule to the Farming Zone</i> (Sheets 1, 2 and 3) attached to this schedule	15 hectares
	All other land	40 hectares
Maximum area for which no permit is required to use land for timber production (hectares)	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres)	None specified	None specified
Maximum floor area for which no permit is required to construct an out-building associated with a dwelling (square metres)	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres)	None specified	None specified
Minimum setback from a road (metres)	A Transport Zone 2 or land in a Public Acquisition Overlay if: <ul style="list-style-type: none"> <li>▪ The Head, Transport for Victoria is the acquiring authority; and</li> <li>▪ The purpose of the acquisition is for a road.</li> </ul>	100 metres
	A Transport Zone 3 or land in a Public Acquisition Overlay if:	40 metres

	Land	Area/Dimensions/Distance
	<ul style="list-style-type: none"> <li>The Head, Transport for Victoria is not the acquiring authority; and</li> <li>The purpose of the acquisition is for a road.</li> </ul>	
	Any other road	20 metres
Minimum setback from a boundary (metres)	Any other boundary	5 metres
Minimum setback from a dwelling not in the same ownership (metres)	Any dwelling not in the same ownership	100 metres

Permit requirement for earthworks	Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary	All land
Earthworks which increase the discharge of saline groundwater	All land

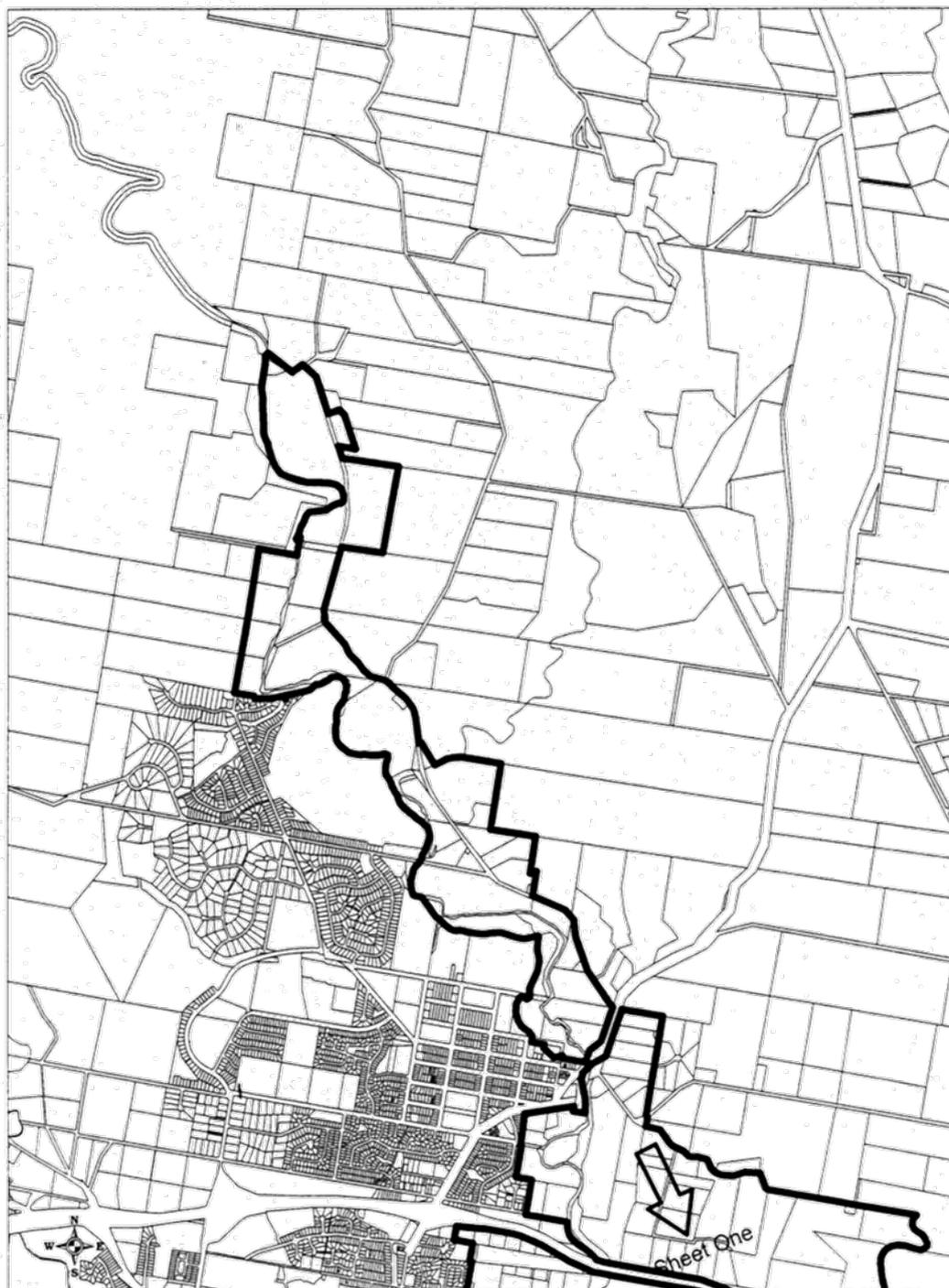
Map 1 to the Schedule to Clause 35.07

Sheet 1



Map 1 to the Schedule to Clause 35.07

Sheet 2



**Map 1 to the Schedule to Clause 35.07**

**Sheet 3**



**System Note: The following schedule will be inserted after Sub-Clause:43.02 DESIGN AND DEVELOPMENT OVERLAY, Schedule:SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

C103moor

**SCHEDULE 17 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO17**

**HOPETOUN PARK NORTH GROWTH AREA**

**1.0**

C103moor

**Design objectives**

To ensure new residential development minimises its visual impact when viewed from the Western Freeway, Bacchus Marsh Valley and the existing Hopetoun Park residential development.

To provide development that is respectful of the existing open and spacious character of Hopetoun Park through the implementation of front, rear and side setbacks that provides adequate area for landscaping that reinforces the open woodland character.

To encourage fencing that provides a 'rural' feel, and sense of openness towards the street.

To encourage the use of materials for building construction that blend aesthetically with the landscape.

To ensure setbacks to dwellings respond to the requirements of Clause 13.02.

**2.0**

C103moor

**Buildings and works**

A permit is required to construct a fence. This does not apply if the requirements for fencing in Table 1 have been met.

A permit is not required to construct a building or construct and carry out works where the setback requirements in Table 1, in addition to the bushfire setback requirements in Table 2, have been met.

**Table 1: Minimum setback requirements for dwellings, and fence requirements**

<b>Setback requirements for dwellings, outbuildings; and fence requirements</b>	<b>Area A Escarpment Allotments</b>	<b>Area B Southern Allotments</b>	<b>Area C Typical Allotments</b>
<b>Dwelling and outbuilding front set back (minimum)</b>	10 metres	10 metres	6 metres
<b>Dwelling side setback (minimum)</b>	5 metres one side, 3 metres to the other side	5 metres one side, 3 metres to the other side	3 metres
<b>Dwelling rear set back (minimum)</b>	10 metres	20 metres, which must include a 5 metre landscape buffer on the southern boundary within which no outbuildings can be located	10 metres
<b>Front fence</b>	No front fence unless it is post and wire or railing, and has at least 80% visual permeability	No front fence unless it is post and wire or railing, and has at least 80% visual permeability	No front fence
<b>Rear and side fence (maximum height)</b>	1.8 metres, reduced to 1.2 metres for side fences forward of the façade	1.8 metres, reduced to 1.2 metres for side fences forward of the façade	1.8 metres, reduced to 1.2 metres for side fences forward of the façade

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**Bushfire Setback Requirements**

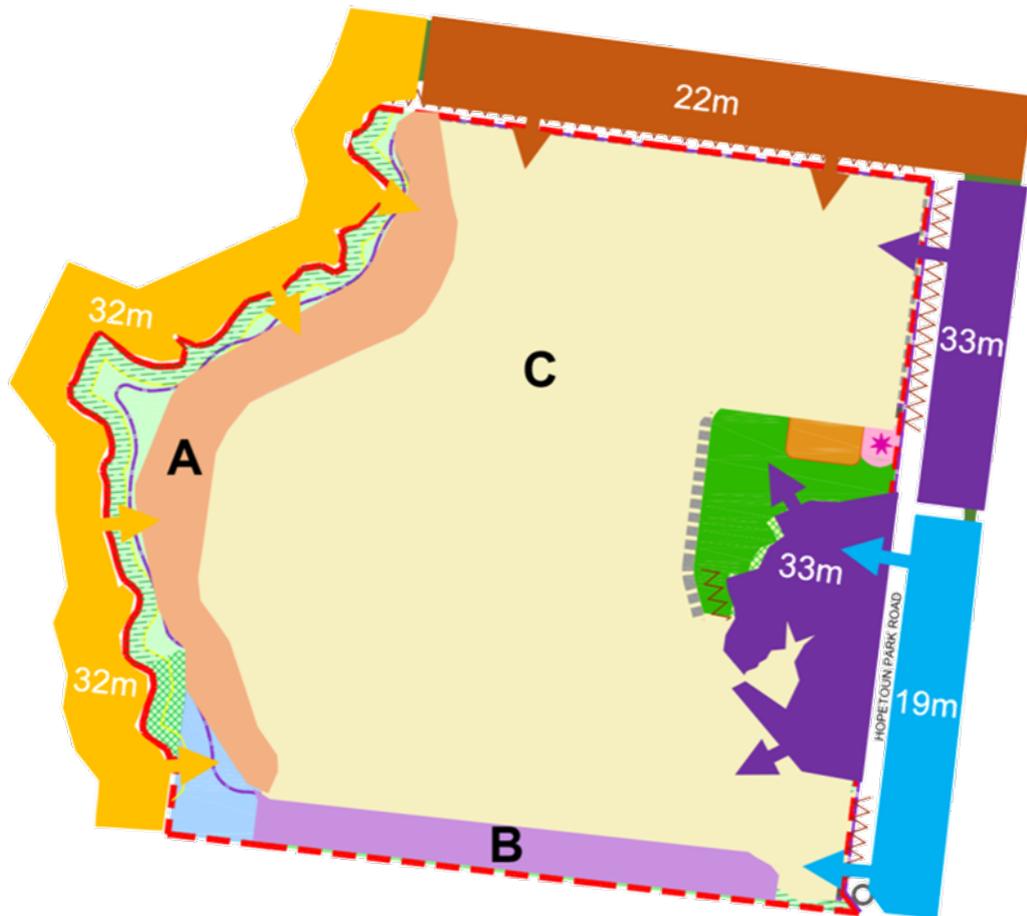
In addition to the setbacks specified in Table 1, the setback requirements in Table 2 also apply, as illustrated in Figure 1:

**Table 2: Bushfire Setback Requirements**

<b>Hazard identified</b>	<b>Area relevant</b>	<b>Setback required from hazard to building façade*</b>
Grassland, escarpment vegetation and revegetation buffer	A	32 metres
Grassland beyond northern boundary	A, C	22 metres
Woodlands east of Hopetoun Park Road, and Grey Box conservation woodlands within site	C	33 metres
Grassland east of Hopetoun Park Road	B, C	19 metres

\* The setbacks can include road reserves and open space areas if they are managed to a low threat state. Some areas of Hopetoun Park Road with conservation values may not be managed to this standard.

Figure 1: Areas A, B and C, hazard interfaces and relevant bushfire setbacks



**Requirements for landscaping**

Landscaping is encouraged in all setback areas to dwellings.

3.0  
C103moor

**Subdivision**

None specified.

4.0  
C103moor

**Signs**

None specified.

5.0  
C103moor

**Application requirements**

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and design response, which demonstrates how the proposal achieves the Design Objectives and Requirements of this Schedule
- A planning assessment that demonstrates how the proposal responds to any approved Hopetoun Park North Development Plan
- A landscape plan that demonstrates how the proposal achieves the desired landscape character

**6.0**

C103moor

**Decision guidelines**

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether an application is generally in accordance with any approved Hopetoun Park North Development Plan
- Whether an application provides adequate setbacks that can accommodate appropriate landscaping

**System Note: The following schedule will be inserted after Sub-Clause:43.04 DEVELOPMENT PLAN OVERLAY, Schedule:SCHEDULE 6 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY**

C103moor

**SCHEDULE 7 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY**

Shown on the planning scheme map as **DPO7**.

**HOPETOUN PARK NORTH GROWTH AREA****1.0**

C103moor

**Objectives**

To guide and facilitate a staged master-planned development of the land.

To ensure the identification and effective management of areas of environmental, heritage and landscape significance.

To provide an appropriate transition between the new residential growth area and the existing low density residential development at Hopetoun Park.

To enhance the amenity, safety and liveability of the existing development at Hopetoun Park, through increased services and infrastructure delivered in the growth area.

To implement measures to mitigate potential noise, environmental and bushfire impacts.

**2.0**

C103moor

**Requirement before a permit is granted**

A permit may be granted to use or subdivide land, construct a building or construct or carry out works before a development plan has been prepared to the satisfaction of the responsible authority, for:

- Realignment or consolidation of lots
- Removal, variation or creation of easements or restrictions
- Agriculture, and any buildings or works in association with the use of the land for agricultural purposes
- Extensions, additions, or modifications to existing buildings, works or development

All proposals to use or subdivide land, construct a building or construct and carry out works, before a development plan has been prepared, must be accompanied by a report demonstrating that the proposal will not prejudice the long term future development of the land for residential purposes or unreasonably impact residential amenity.

**3.0**

C103moor

**Conditions and requirements for permits**

The following conditions and/or requirements apply to permits:

- Except for a permit issued under Clause 2.0, any permit for subdivision must include a condition requiring the payment of development contributions in accordance with an agreement made with Moorabool Shire Council under Section 173 of the Planning and Environment Act 1987. The costs of preparation and registration of the Section 173 agreement are to be borne by the landowner.

**4.0**

C103moor

**Requirements for development plan**

A development plan must include the following requirements:

The development plan must be generally in accordance with the Hopetoun Park North Concept Plan (the Concept Plan) included as Map 1, to the satisfaction of the responsible authority.

The development plan must comprise, to the satisfaction of the responsible authority:

- A design response that is based on the outcomes of the site analysis process, and is generally consistent with the Concept Plan
- A written report addressing the requirements outlined in this Schedule
- A Masterplan that illustrates land uses (including open space), interface treatments, and an indicative road layout across the site

- A Landscape Masterplan that shows the landscape design concept for the site, including all streetscapes and open space (active and passive recreation areas, natural areas, other public realm)
- An Integrated Transport Management Plan that addressed access and movement within and to and from the site
- An Integrated Water Management Plan that addresses wholistic stormwater management within the site, and those water-related interfaces beyond the site
- A Bushfire Mitigation and Management Plan that addresses fire hazard, emergency vehicle road design, the provision of reticulated or static water supply and access for fire fighting

### **Masterplan**

The Masterplan must include:

- Contours of land at 1.0 metre intervals
- Details of the likely staging of land-use and development
- Key climatic conditions (i.e. solar orientation arc and prevailing wind arrows)
- Residential lots with a minimum area of 1500 square metres, and a minimum frontage width of 30 metres, in Areas A and B, as defined on the Concept Plan
- Residential lots with a minimum area of 800 square metres and a minimum frontage width of 20 metres for Area C, as defined on the Concept Plan
- Local roads separating all residential lots from the western escarpments and escarpment reserves
- Layout of street networks to provide lots oriented east-west, and north-south neighbourhood streets, wherever possible
- A perimeter road along the northern interface with the Western Freeway reservation
- A report on the results of targeted surveys undertaken for Striped Legless Lizard and Tussock Skink across all areas of Plains Grassland and Open Woodland
- Details of how the development will provide innovative sustainable development practices including measures to reduce greenhouse gas emissions, energy use, water consumption and waste generation
- Measures to avoid and minimise potential environmental impacts, including but not limited to:
  - Land degradation - minimisation of topsoil disturbance;
  - Preservation and enhancement of the environmental attributes of the area
- Provision for community facilities on a minimum 4300 square metres site, in an appropriate location generally in accordance with the Concept Plan, to the satisfaction of the responsible authority
- Provision for a Local Convenience Centre of a minimum 540 square metres floor area that comprises commercial/retail facilities in an appropriate location abutting Hopetoun Park Road, to the satisfaction of the responsible authority
- Interfaces between the Local Convenience Centre which are designed to activate frontages and implement Crime Prevention Through Environmental Design principles
- Details of unencumbered and encumbered open space, passive open space, land suitable for active open space, and any additional open space required to perform a streetscape function or to link open space areas, generally in accordance with the Open Space and Landscape Report by Weir and Co [August 2023]
- Details of the infrastructure and sporting facilities to be provided on site
- Details of how ecological values will be protected on land set aside for conservation purposes

- A western escarpment interface abutting the western site boundary, comprised of a linear reserve of a minimum 20 metres in width which incorporates a shared path for pedestrian and cyclist access and a 5 metre revegetation strip
- A development sequencing plan that identifies the likely sequence of development, the staging and provision of infrastructure, drainage, roads and other key facilities and evidence that reticulated water supply and sewerage services can be provided
- Demonstration of how infrastructure including water supply, sewerage, drainage, telecommunications, public transport and roads will be cost effectively provided

### **Landscape Masterplan**

The Landscape Masterplan must include:

- Linear reserves, a minimum 20 metres in width, abutting the edge of the western escarpment area (Area A) with local roads abutting the linear reserves wherever possible
- Key recommendations of the Hopetoun Park North, Northwestern Section Flora and Fauna Assessment by Nature Advisory [August 2023] including the preparation of a Land Management Plan to incorporate recommended actions for retention, management, revegetation and restoration of conservation areas as shown indicatively on the Concept Plan, and their integration with adjoining open space reserves, as appropriate. It should also include assessment, including consideration of potential vegetation offset requirements, of any areas of native vegetation where removal is proposed to facilitate future development. The assessment should also make recommendations with regard to management of noxious weeds as identified by the *Catchment and Land Protection Act 1994*
- A report on the results of targeted surveys undertaken for Striped Legless Lizard and Tussock Skink across all areas of Plains Grassland and Open Woodland
- An arboriculture assessment of existing trees/groups of trees on the land which provides a description of the condition, health and integrity of all trees. The assessment must include recommendations for the long-term preservation of all tree(s) identified to be retained, having regards to any proposed open space or development in proximity to the vegetation. The arboriculture assessment must include a plan showing the location of all vegetation proposed for removal and retention
- Details of any vegetation to be preserved on site, vegetation to be removed and any revegetation works required in accordance with the recommendations of relevant flora and fauna and/or arboricultural assessment
- Details of EVC appropriate native/indigenous and drought tolerant vegetation for landscaping, and retention of existing indigenous vegetation wherever possible
- Measures to limit weed invasion
- Management plan for the escarpment areas within 10 metres of the linear open space reserves (located adjacent to the escarpments) including revegetation (if required), litter and weed management
- A character/theme for each open space area and a street tree theme for streets incorporating EVC appropriate native/indigenous plantings
- Integration of Urban Heat Island cooling objectives with corresponding tree canopy targets and areas of cool retreat
- Details of fencing treatments proposed for private land abutting open space
- Retention of existing large trees and patches within Active Open Space, where appropriate

### **Integrated Transport Management Plan**

The Integrated Transport Management Plan must include:

- The distribution, hierarchy and characteristics of vehicular and pedestrian circulation networks including access place roads
- Connector roads with a minimum reserve width of 24 metres
- Access streets with a minimum reserve width of 17.3 metres
- A Traffic Impact Assessment that adopts the internal and external traffic and movement network impacts outlined in the Salt Traffic Engineering Report [December 2022 and Addendum April 2023]
- A pedestrian and cycle path plan which is generally in accordance with the Open Space and Landscape Report by Weir and Co [August 2023] and which identifies:
  - Connections through open space, pathways and street networks
  - Pathway and road reserve design to satisfy Infrastructure Design Manual requirements
  - Connections to the existing perimeter path that extends around the development at Hopetoun Park
  - A shared path connection to Cowans Road
  - Safe crossings of Hopetoun Park Road
- Details of the likely staging of infrastructure

#### **Integrated Water Management Plan**

The Integrated Water Management Plan must be generally in accordance with the Stormwater Management Plan by Afflux Consulting [May 2023] and must include:

- Allowance for water quality assets and land to the satisfaction of the relevant authority
- Provision of appropriate retention storage to service land to the west of Hopetoun Park Road, to the satisfaction of the relevant authority
- Details of maintenance requirements, machinery requirements and access arrangements, including specific reference to the escarpment areas and maintenance responsibilities for any drainage areas/wetlands
- Details of measures that mitigate the steep outfall conditions for individual asset design, to the satisfaction of the relevant authority
- Stormwater discharge flow and outlet designs, to the satisfaction of the relevant authority
- The requirement for best practice stormwater management as part of planning approvals in accordance with the Infrastructure Design Manual
- Provision for the implementation of appropriate Water Sensitive Urban Design techniques to minimise inappropriate drainage and runoff impacts, support Blue Green infrastructure in streets and open space where possible, and address possible impacts to the escarpments
- Details of minimisation of sediment loads within stormwater, as caused by sodic and dispersive soils
- Provision for innovative wastewater management strategies that maximise opportunities for waste recycling or stormwater harvesting

#### **Bushfire Mitigation and Management Plan**

The Bushfire Mitigation and Management Plan must be generally in accordance with the Bushfire Risk Assessment by South Coast Bushfire Consultants [August 2023] and must include:

- The requirement for the completed subdivision of the growth area, as well as any stage of the subdivision, to include a design that meets the requirements of Clause 13.02-1S such that no future development will be exposed to a radiant heat load greater than 12.5kW/m<sup>2</sup>

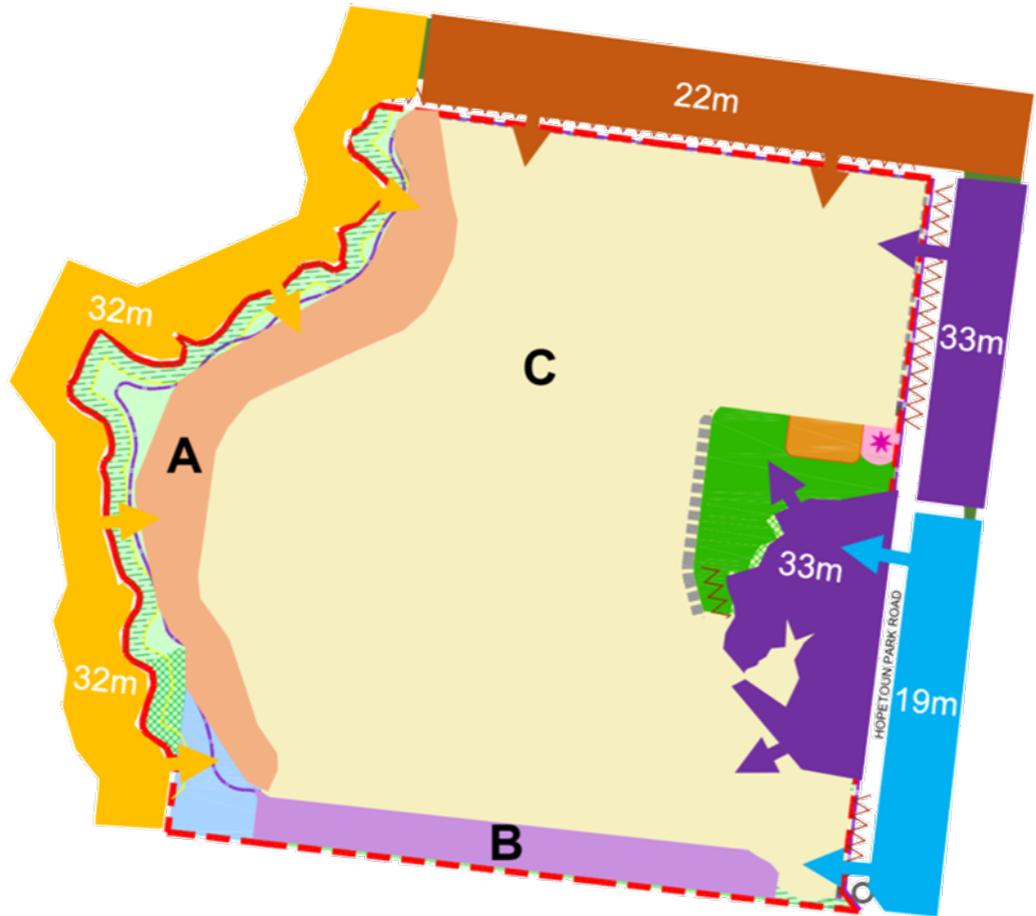
- The requirement for a perimeter road abutting the northern interface of the growth area, adjacent to the Western Freeway reserve
- The requirement for a perimeter road in proximity to the western escarpment, abutting the east side of the linear open space reserve
- The requirement for a perimeter road abutting the woodland conservation reserve located on the west side of Hopetoun Park Road, in locations where the woodland conservation reserve would otherwise abut residential development to the west and south
- The requirement for a perimeter road abutting the woodland conservation reserve located on the west side of Hopetoun Park Road, in locations where the reserve would otherwise abut residential development to the west and south
- The design of the road and lot layout to ensure that the setback requirements in the following table and figure are met:

**Table 1: Bushfire Setback Requirements**

<b>Hazard identified</b>	<b>Area relevant</b>	<b>Setback required from hazard to building façade*</b>
Grassland, escarpment vegetation and revegetation buffer	A	32 metres
Grassland beyond northern boundary	A, C	22 metres
Woodlands east of Hopetoun Park Road, and Grey Box conservation woodlands within site	C	33 metres
Grassland east of Hopetoun Park Road	B, C	19 metres

\*The setbacks can include road reserves and open space areas if they are managed to a low threat state. Some areas of Hopetoun Park Road with conservation values may not be managed to this standard.

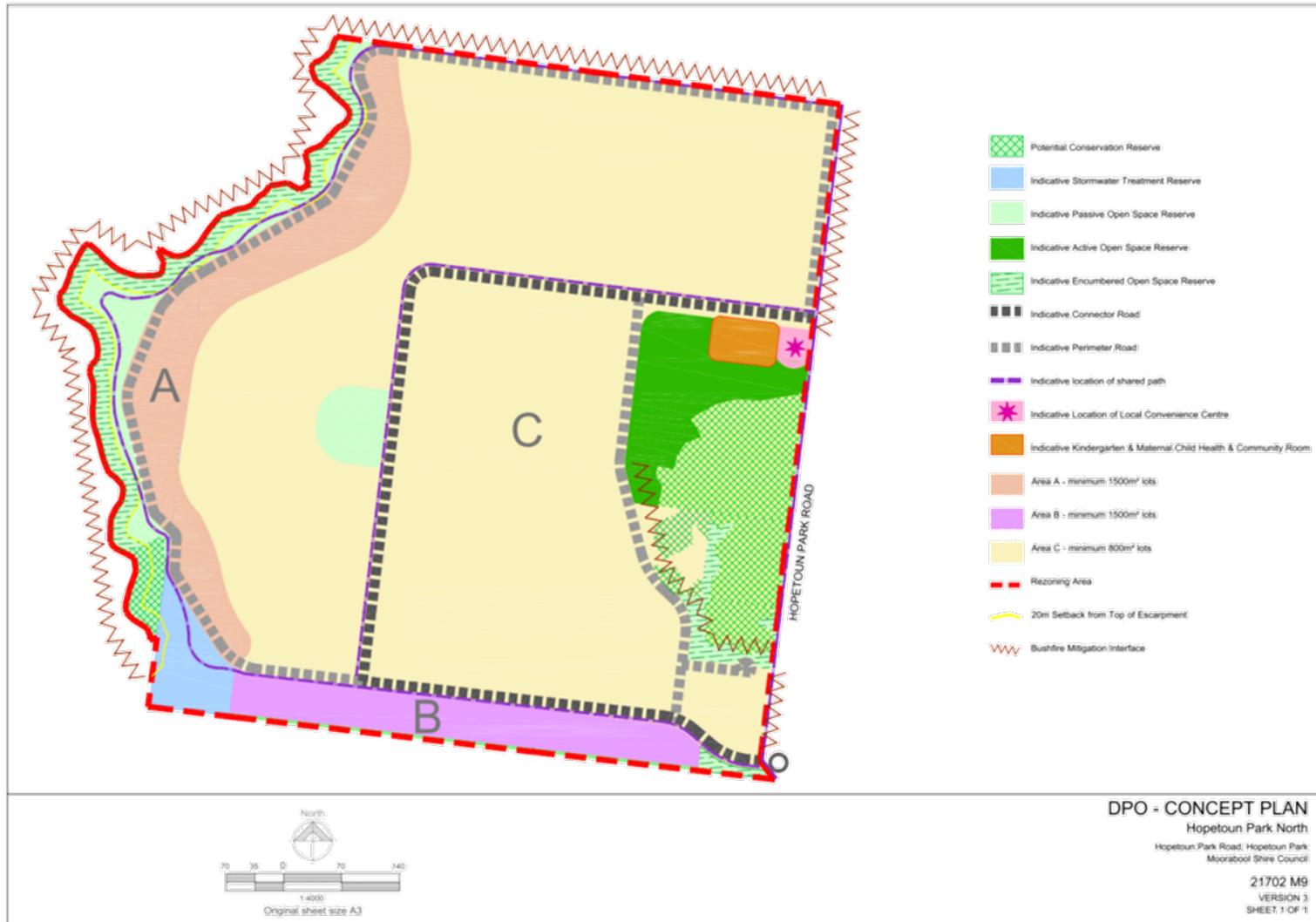
Figure 1: Areas A, B and C, hazard interfaces and relevant bushfire setbacks



- In the setback locations specified above, the requirement for landscaping to be planted and managed in accordance with the defensible space requirements as outlined at Clause 53.02-5 Table 6 Vegetation management requirement (as appropriate) if located in:
  - The setbacks to dwellings
  - The perimeter road reserves
  - Public open space areas
- The design of a road network and access and egress points that address interim hazards for each anticipated stage of subdivision, as well as the final layout, to minimise bushfire risks for all vehicles in an emergency
- The design of a road and lot layout that ensures the ability to provide areas of BAL LOW for each stage, as well as the final layout.

**Map 1 to Schedule 7 to Clause 43.04**

**Hopetoun Park North Concept Plan**



Page 10 of 10

22/07/2021  
C92moor

## SCHEDULE 7 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

Shown on the planning scheme map as ESO7 .

### GRASSLANDS WITHIN THE WERRIBEE PLAINS HINTERLAND

#### 1.0

06/08/2010  
VC68

#### Statement of environmental significance

The areas included within this overlay form part of the Victorian Volcanic Plain Bioregion. The native vegetation of the Victorian Volcanic Plain bioregion is one of the most depleted in the State. Only 4.5 per cent of the State still has a cover of native vegetation, and less than 1.2 per cent is in formal reserves.

The Werribee Plains hinterland consists of undulating volcanic plains, a scoria cone and steep gorges formed by the Little and Werribee Rivers. Many elements of the flora reflect the low rainfall of this area, which formerly supported extensive areas of Plains Grassland. Although the native vegetation has been extensively cleared and altered for agricultural, urban and industrial use, there are some large areas of predominantly native vegetation as well as some high-quality wetlands, which are important for many threatened fauna species. There are a number of communities and species in this area that do not occur elsewhere in the bioregion. Important species in this area include, for flora, the Button Wrinklewort, Large-fruit Fireweed, Small Golden Moths, Small Milkwort, Small Scurf-pea, Spiny Rice-flower, and the only remaining wild population of Sunshine Diuris; and, for fauna, the Grassland Earless Dragon, Orange-bellied Parrot, Plains-wanderer, Red-chested Button-quail, Striped Legless Lizard and Swift Parrot.

The landscape consists of undulating volcanic plains with red duplex soils. The Werribee and Little Rivers have incised steep and sometimes spectacular gorges into the basalt plain. The scoria cone of Mount Anakie is a significant landscape feature. A band of Tertiary sediments is located along the western edge of this area.

It has a unique and relatively early history of European settlement due partly to the ease of access of the open grassland plains. Because of this the landscape has been radically altered.

The dry plains of the Werribee plains hinterland formerly supported extensive areas of Plains Grassland. These grasslands integrated with Riverina Plains Grassy Woodland (dominated by Grey Box, Buloke and Drooping Sheoak) to the west and south of Melton, and Plains Grassy Woodland in and around the You Yangs and east of the Brisbane Ranges. Riparian areas supported Floodplain Riparian Woodland and Creekline Grassy Woodland with Escarpment Shrubland on steeper escarpments. A variety of wetland communities formerly occurred throughout including Plains Grassy Wetland, Plains Sedgy Wetland, Canegrass Wetland, Lignum Wetland and Aquatic Herbfield. Scoria Cone Woodland was associated with Mount Anakie and other volcanoes. Areas of Coastal Saltmarsh were found along the shores of Port Phillip Bay. Many elements of the flora reflect the low rainfall including White Cypress-pine and Fragrant Saltbush found along the steep escarpments of the Werribee River, and Woolly Buttons at Little River. The native vegetation has been extensively cleared and altered for agriculture and (increasingly) for urban and industrial use. However, there are large areas of predominantly native vegetation including woodlands, wetlands and grasslands.

The major issue for biodiversity conservation in the Werribee plains hinterland is loss of native vegetation and habitat through clearing for urban development, cropping and infrastructure. The compounding effects of such clearing are the loss of floristic and habitat diversity and increasing fragmentation of habitats and isolation of remnants. Similarly, changes to management of remnant vegetation and increased urbanisation contribute to the proliferation of weeds and feral animals. Degradation of drainage lines and riparian vegetation through erosion, pollution and uncontrolled grazing, depletion of wetlands and changes to the hydrology of wetlands and streams are also serious threats to biodiversity in the region. However, a range of conservation assets are present and significant opportunities do exist to establish relatively large areas and networks of areas that are managed sympathetically for conservation. Such networks could include a range of vegetation types and land tenures and relatively large and intact areas of open grassland, grassy woodland and wetland communities.

#### 2.0

22/07/2021  
C92moor

#### Environmental objective to be achieved

To prevent a decline in the extent and quality of native vegetation and native fauna habitat of the Victorian Volcanic Plain.

To enhance the environmental and landscape values of the area.

To avoid the fragmentation of contiguous areas of native vegetation or native fauna habitat.

To ensure that any use, development or management of the land is compatible with the long-term conservation, maintenance and enhancement of the grasslands.

To avoid the destruction of habitat for native fauna resulting from the modification of land form and disturbance of surface soils and rocks.

To enable areas of environmental significance, due to their native vegetation or habitat values, to be identified.

### 3.0

06/08/2010  
VC68

#### Permit requirement

A permit is not required to:

- Construct a building or construct or carry out works or to remove, destroy or lop vegetation (including dead vegetation) in accordance with an agreement under Section 69 of the *Conservation, Forests and Lands Act 1987*.
- Construct or carry out works or to remove, destroy or lop vegetation (including dead vegetation) by or on behalf of a public authority or public land manager involving revegetation, or preparatory works associated with revegetation.
- Construct a building or construct or carry out works for an extension or alteration of an existing dwelling (other than the erection of an outbuilding normal to a dwelling) provided that the gross floor area of that extension or alteration does not exceed 50 square metres and the extension or alteration is more than 5 metres from any existing native vegetation.
- Remove, destroy or lop any vegetation, including dead vegetation:
  - Where the vegetation is non native.
  - Where the vegetation is a plant proclaimed as a weed under the *Catchment and Land Protection Act 1994*.
  - In order to enable the use and maintenance of a building constructed or approved by a planning permit granted under this planning scheme or by a building permit granted under the Building Act 1993, before 6 August 2010. This exemption does not apply to vegetation located more than 10 metres from a building.
  - Where the vegetation has been planted or grown for aesthetic or amenity purposes, including agroforestry (the simultaneous and substantial production of forest and other agricultural products from the same land unit), shelter belts, woodlots, street trees, gardens or the like. This exemption does not apply if public funding was provided to assist in planting or managing the vegetation for conservation purposes and the terms of the funding did not anticipate removal or harvesting of the vegetation.
  - For the purpose of maintenance, where no more than one third of the foliage is removed from any individual plant. This exemption does not apply to the pruning or lopping of the trunk of a tree or shrub or to native vegetation within a road or railway reservation.
  - To mow or slash grass in a lawn, garden or other planted area for maintenance only.
  - To maintain an existing fence where the removal of vegetation is within a combined maximum width of 4 metres either side of the fence.

### 4.0

22/07/2021  
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#### Application requirements

The following application requirements apply to an application for a permit under Clause 42.01, in addition to those specified elsewhere in the scheme and must accompany an application to the satisfaction of the responsible authority:

- A description of any proposed disturbance of surface soil or rocks associated with the proposal.
- The total extent of vegetation on the property and the extent of native vegetation proposed to be removed, lopped or destroyed.
- A description of the steps that have been taken to avoid and minimise the removal of native vegetation including the practicality of alternative options which do not require removal of the native vegetation.

An application must also be accompanied by, as appropriate:

- A flora and fauna assessment of the land prepared by a suitably qualified and experienced person to the satisfaction of the responsible authority. The assessment must include:
  - A flora and fauna survey.

- A habitat hectare assessment.
- Identification of the vegetation and habitat significance of the property.
- A description of the effect of the proposed development in relation to other areas of native vegetation or native fauna habitat, including any proposed conservation reserves, streams and waterways.
- A land and environmental management plan prepared by a suitably qualified person identifying, as appropriate:
  - Any proposals for revegetation, including proposed species, and ground stabilisation.
  - How any vegetation removal will be offset (an offset plan), in accordance with Victoria's Native Vegetation Management: A Framework For Action (Department of Natural Resources and Environment 2002).
  - Weed management, including species to be targeted and proposed management techniques.
  - Pest animal management, including species to be targeted and proposed management techniques.

If in the opinion of the responsible authority a flora and fauna assessment of the land or a land and environmental management plan is not relevant to the assessment of an application, the responsible authority may waive or reduce the requirement.

### Referral of applications

In accordance with Section 55 of the Act, an application must be referred to the relevant referral authority specified in the schedule to Clause 66.04.

## 5.0

22/07/2021  
C92moor

### Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered by the responsible authority:

- The conservation significance of any vegetation to be removed and its habitat value for native fauna.
- Measures to protect and enhance native vegetation and native fauna habitat of the Victorian Volcanic Plain, including the retention of land form, surface soils and rocks.
- Measures to maintain contiguous areas of native vegetation or native fauna habitat.
- Any relevant strategic grasslands management plan, particularly the potential impact of management activities, such as burning, on any proposed new use or development.
- The impact of any use, development or management of land on the grasslands including the potential impacts of nutrient and water run-off, increased weed and pest invasion or recreational impacts.
- Measures to encourage ecological restoration, regeneration and revegetation with indigenous species.
- The need to adopt a precautionary approach in the absence of scientific certainty.
- The reason for removing any vegetation and the practicality of any alternative options.
- The impact on the integrity of the site from the proposed development, disturbance and removal of rock, indiscriminate weed control, habitat fragmentation and isolation and disturbance and destruction of habitat of threatened species.
- The proposed management practices for the land including:
  - The linking and enlarging of areas of significant flora and fauna habitats.
  - Effective and targeted weed control.
  - Programs to control or eliminate introduced predatory and pest animal species, in particular foxes, rabbits and hares.
  - Rehabilitation of degraded areas through fencing, revegetation with appropriate native species and ongoing management.
  - Collection of seed and other plant propagules for rehabilitation projects on and off site.

- The results of any flora and fauna survey and assessment of the land.
- Any Native Vegetation Precinct Plan, Conservation Management Plan, Precinct Structure Plan or other management plan approved for the area by the Minister for Planning or Minister for Environment and Climate Change.
- Any action statement, significant impact guidelines or prescriptions for listed species or habitat of listed species occurring or likely to occur on the land.

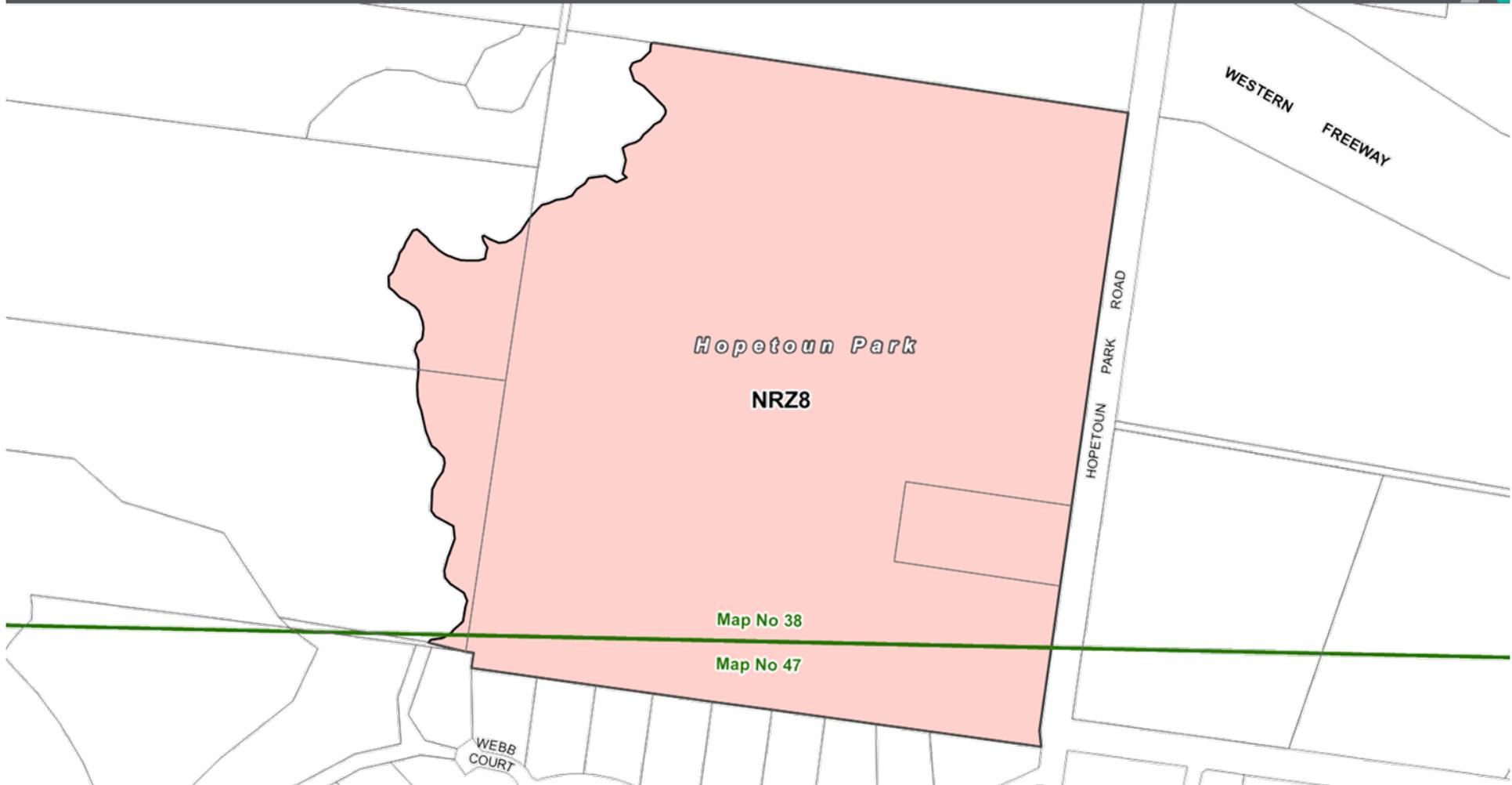
**Background documents**

Delivering Melbourne's Newest Sustainable Communities: Strategic Impact Assessment Report for the Environment Protection and Biodiversity Conservation Act 1999 (Department of Sustainability and Environment 2009)

Delivering Melbourne's Newest Sustainable Communities: Report for Public Consultation, Urban Growth Boundary Review (Department of Planning and Community Development 2009)

Delivering Melbourne's Newest Sustainable Communities: Background Technical Report 2a: Biodiversity Assessment of Melbourne's Western Investigation Area (Biosis Research 2009)

HOPE TOWN LOCAL PLANNING SCHEME LOCAL PROVISION  
**AMENDMENT C103moor**



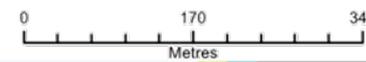
**LEGEND**

- NRZ - Neighbourhood Residential Zone
- Local Government Area

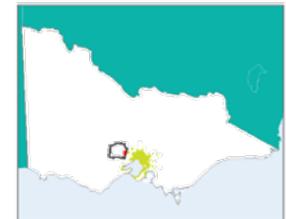
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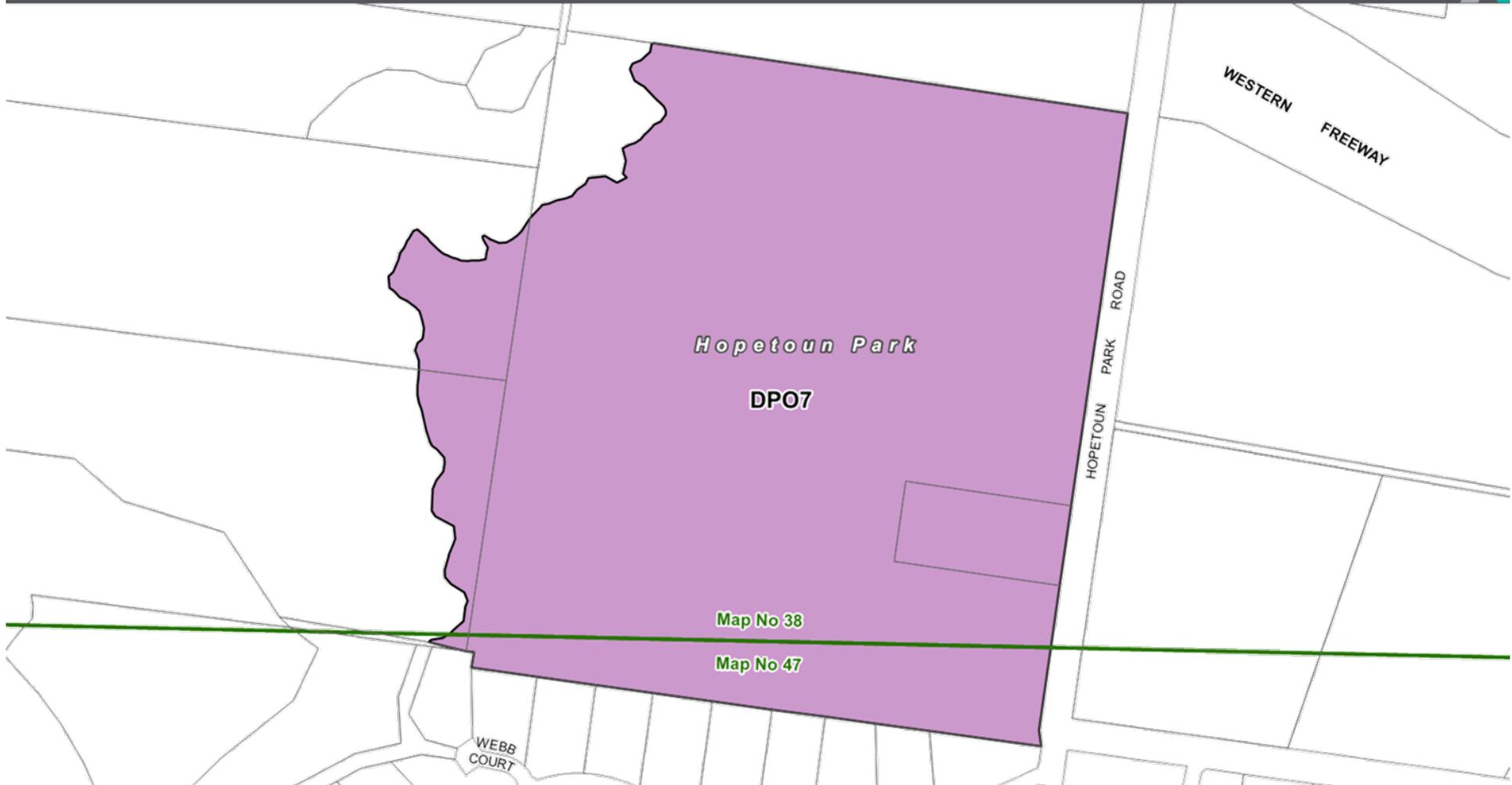
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HOPE TOWN DEVELOPMENT PLAN SCHEME LOCAL GOVERNMENT PROVISION  
**AMENDMENT C103moor**



**LEGEND**

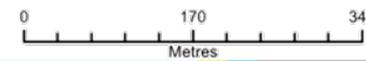
-  DPO7 - Development Plan Overlay - Schedule 7
-  Local Government Area

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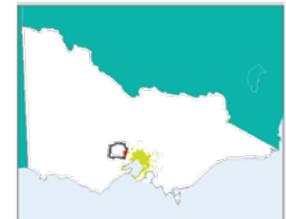
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**AMENDMENT C103moor**



**LEGEND**

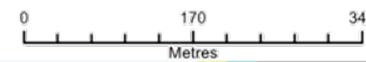
-  DDO17 - Design and Development Overlay - Schedule 17
-  Local Government Area

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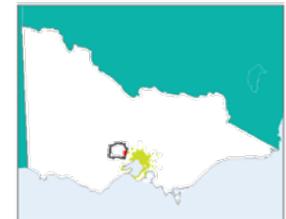
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**AMENDMENT C103moor**



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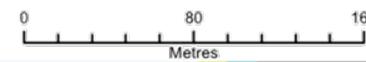
-  ES07 - Environmental Significance Overlay - Schedule 7
-  Local Government Area

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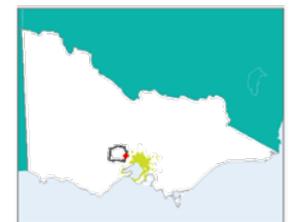
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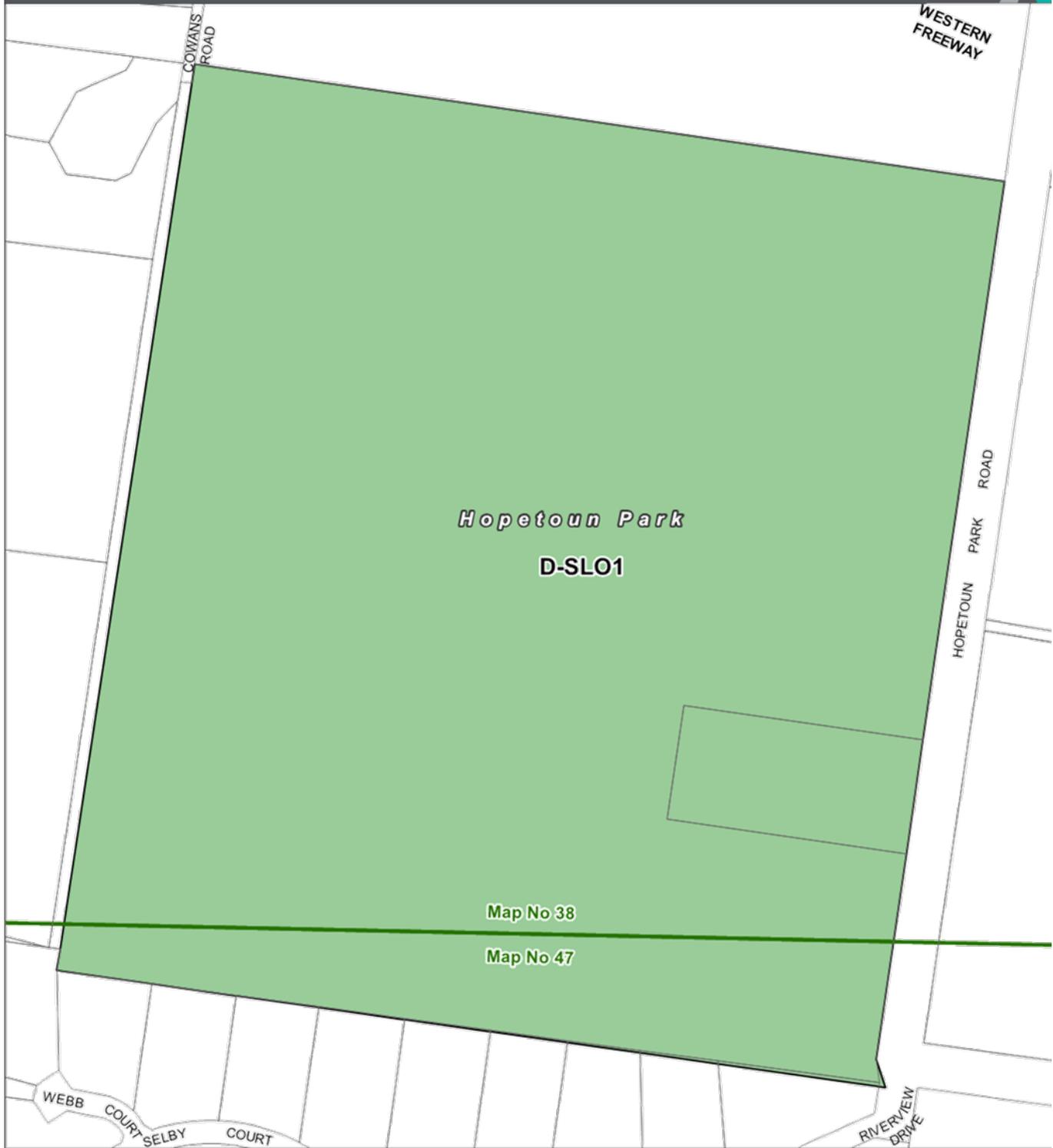
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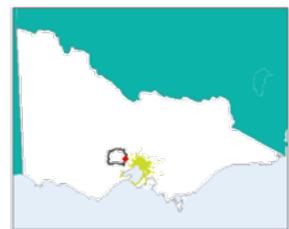


# MOORABOOL PLANNING SCHEME - LOCAL PROVISION AMENDMENT C103moor



### LEGEND

- D-SLO - Area to be deleted from a Significant Landscape Overlay
- Local Government Area



Part of Planning Scheme Maps 38SLO & 47SLO

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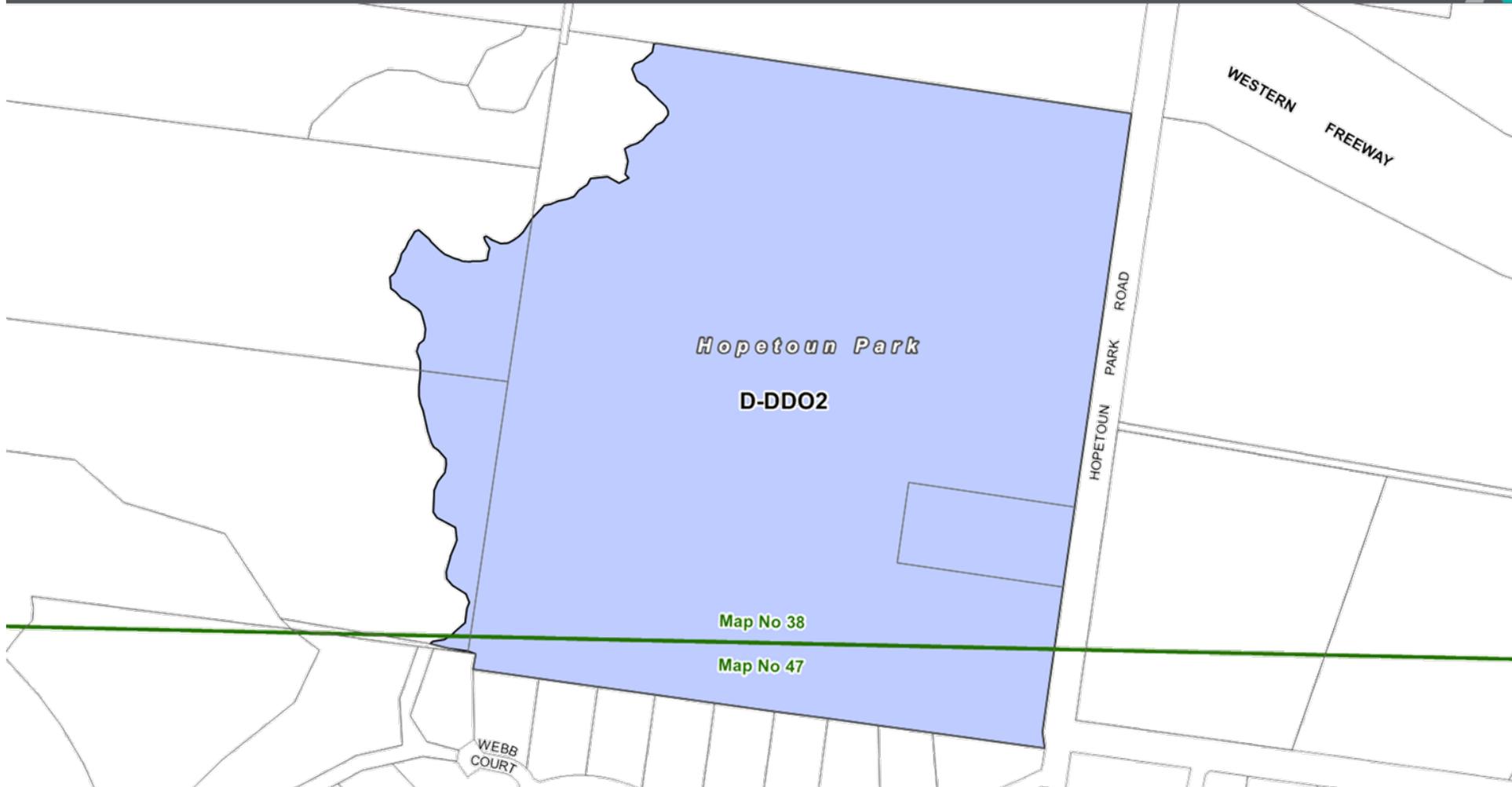


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**AMENDMENT C103moor**



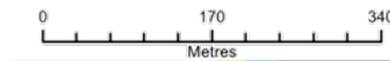
**LEGEND**

-  D-DDO - Area to be deleted from a Design and Development Overlay
-  Local Government Area

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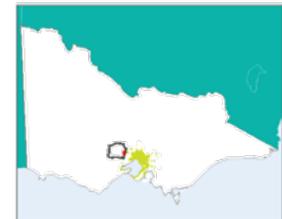
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## HOPETOUN PARK NORTH PROPOSED – DEVELOPMENT CONTRIBUTIONS

Item	Type of contribution	Value
2-hectare park Active Open Space (including district level playground, junior oval size kickaround space, tennis court, basketball half court, pump track, BBQ and shelter	Construction	\$3,146,950
2-hectare park	Land	\$2,395,800
Netball court contribution with lighting (offsite)	Cash	\$181,958
Land for Kinder/MCH (.43ha)	Land	\$1,919,640
Kinder/MCH - contribution towards construction costs	Cash	\$1,956,405
Community infrastructure levy at a per dwelling rate (\$1,253 x 400dw) for council determined costs	Installments	\$501,200
External Shared Path - to Cowans Lane / irrigation district	Construction	\$32,480
<b>Total</b>		<b>\$10,134,433</b>

Note: Items or valuations may be subject to change as part of the amendment process.



## Bacchus Marsh Public Hall Community Assets Committee

Minutes of Meeting 28<sup>th</sup> August 2023

7.4 Help Phone No 0220	Completed. Carol Y to contact Stuart D re PO Box key  Action CY
7.5 Electricity Account with AGL and Solar Panels 0720	C/o The Account was cancelled with AGL as MSC changed their supplier. Gary T has had account reinstated.
7.6 Secretary's Position on Committee 0720	Carol Y will act as Secretary for the time being
7.7 Security Cameras	C/o until MSC policy on CCTV finalised. Policy is completed and has gone out for community consultation.  Action MSC
7.8 Public Hall Heating 0621	C/o until R Geurts returns from leave  Action Ron G
7.9 Hall Keeper Contract 0222	C/o Stuart D was collating feedback an draft tender document. Carol Y to contact MSC on availability  Action Carol Y
7.10 BMPH Website and Online Bookings 0123	A sub committee was formed with Eric D, Anita J and Gary T to investigate possible suppliers and report back to Committee. Two names were suggested to contact and details were given to the Sub Committee  Action ED,AJ, GT
7.11 Blowmould Tables 01223	C/o until the return of Ron G  Action Ron G
7.12 Lights	Eric has commenced the draft scope of work and will hopefully will present at next meeting.  Action Eric D
7.13 Loading Dock and Parking	A disabled parking spot will be placed outside the RSL office along with 1 car space. The balance to be allocated as a Loading Bay. Signage to be placed by MSC  Action Rod W
7.14 IMS Booking System for Public Hall 0723	C/o MSC putting together a mock up demonstration of admin and user experience.  Action MSC

	7.15 Seating Capacity in Public Hall 0723	C/o Restaurant seating capacity for the Public Hall to be investigated and documented  Action Rod W
	7.16 AGM	The AGM is to be held on Monday 27 <sup>th</sup> October 2023 commencing at 6.30 followed by a Committee meeting. Carol Y to advise MSC for advertising.  Carol Y to investigate with MSC if all positions are vacated every AGM or some Committee members can be carried over with regard to a continuancy of positions  Action Carol Y
8	Secretary's report	
	8.1 Inwards correspondence	Nil Report
	8.2 Outwards correspondence	Nil Report
	8.3 Business arising	
9.	Treasurer's report – Tabled and attached	
	9.1 Accounts for Payment	AGL Sales D Hazell All Cleaning Solutions Ron's Maintenance Telstra Veolia
	9.2 Business Arising	With the resignation of Stuart D, another signatory is required on the Bank Account.  A resolution that Carol Y become a signatory of the Bacchus Marsh Public Hall accounts with the Bendigo Community Bank.  Moved Gary T                      Seconded Anita J  Carried  Carol Y is to be paid a call out fee after a hirer left the side door open

<p><b>Resolution:</b></p> <p><b><i>That the Treasurer's report be received.</i></b></p> <p><b>Moved: Gary T                      Seconded: Eric D</b></p> <p><b>Carried</b></p>	
<p>10. Booking Contractor's report      Report Tabled and attached</p>	
10.1 Bookings Received	
10.2 Booking Enquiries	
10.3 Hall Viewings	
10.4 Business Arising	<p>Zoho system not suitable and have gone back to the previous system after discussion with Gary T.</p> <p>Community booking must show status of being a Community Group.</p> <p>More hirers are forfeiting part of their bond due to lack of cleaning</p>
<p><b>Resolution:</b></p> <p><b><i>That the Booking Contractor's report be received.</i></b></p> <p><b>Moved: Anita J                      Seconded: Gary T</b></p> <p><b>Carried</b></p>	
<p>11. Hall Keeper's report</p>	
11.1. Tasks competed	Nil Report
11.2 Business Arising	Carol Y has collected the keys and is doing some inspections in the absence of Ron G
<p>13. General Business</p>	

	13.1 Steam Cleaning	<p>Dottie H to give Carol Y some dates in November for steam cleaning in the Foyer and Supper room</p> <p style="text-align: right;">Action Dottie H</p> <p>Resolution that funds be allocated for the steam cleaning of the Foyer and Supper Room.</p> <p>Moved Gary T                      Seconded Eric D</p> <p>Carried</p>
	13.2 Wall Marks	<p>Dottie raised that there are marks on the stage front wall (possible stair damage). Dottie H to contact Ron G to see if these were previously there</p> <p style="text-align: right;">Action Dottie H</p>
	13.3 Fees and Charges	<p>These are to be raised at the next meeting prior to the AGM with the possibility of Fundraisers to be deleted</p> <p style="text-align: right;">Action Gary T</p>
14.	The next meeting of the Committee will be held at 7pm on Monday 25 <sup>th</sup> September 2023 in the Supper Room	
15.	The meeting closed at 8.25 pm.	



## Bacchus Marsh Public Hall CoM MINUTES

Meeting Held – 23<sup>rd</sup> October 2023

7.3 Interpretive Signs 0817	MSC have sent a form to be completed by Ron G for details of signage and placement requirements  Action RG
7.4 PO Box Key 0823	Carol Y has been given the PO Box key together with a set of Public Hall Keys  Action Complete
7.5 Electricity Account with AGL and Solar Panels 0720	Kristian B from MSC has offered to follow this up on our behalf. The huge electricity bills are attributed to the lights in the car park being connected to the Public Hall
7.6 Security Cameras	Awaiting MSC policy to be finalised. Crs Berry and Dudzik advised this has possibly been completed and Carol Y should contact MSC for final policy  Action CY
7.7 Public Hall Heating 0621	Ron G currently investigating electrical system but is concerned with the weight of the unit on the roof or ceiling. Further companies being explored  Action RG
7.8 Hall Keeper Contract 0222	Carol Y has received some information from MSC with regard to changes. Ron G to evaluate duties and return to Carol Y for further investigation  Action CY/RG
7.9 Website and Online Booking 0123	Kristian B advised that the IMS system is not suitable for Halls but recommended that we look into adding to the MSC website. Eric D advised that there were currently 3 domain names registered through Programmable Soda. Sub Committee to meet in the next couple of weeks. Carol Y to try and find the original contract with Programmable Soda.  Action CY/ED/GT/AJ
7.10 Blow Mould Rectangular Tables Under Stage 0123	Ron G has taken delivery of 6 rectangular tables, however they were the wrong size and had to be returned. They will credit the 5 tables returned.  Resolution that 9 blow moulded tables be purchased at a cost of \$1980 less credit of \$1275 being a nett amount of \$775 plus GST  Moved: Gary T                      Seconded: Anita J  Carried

Bacchus Marsh Public Hall CoM MINUTES

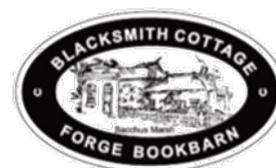
Meeting Held – 23<sup>rd</sup> October 2023

	7.11 Blow Mould Round Tables for Public Hall 10/23	<p>Ron G reported that most of the round tables in the Public Hall had been damaged and he has obtained quotes to replace the wooden tables with light weight blow moulded tables. Any tables that were still in a reasonable condition could be offered to other Halls in the Shire together with the existing trolley.</p> <p>Resolution: That 12 light weight round blow moulded tables be purchased at a cost of \$335 each plus a trolley for \$445 plus GST</p> <p>Moved: Gary T                      Seconded: Carol Young</p> <p>Carried</p>
	7.12 Lighting	<p>Eric D presented a draft scope of works for lighting requirement in the Hall and Supper Room as we currently have a mixture of halogen and LED lighting. 1. Concert lighting and 2. Lighting are required. Eric D will contact the suppliers of the existing light bar for recommendations. Kristian B will also investigate suppliers to obtain quotes</p> <p style="text-align: right;">Action ED/KB</p>
	7.13 Loading Dock and Parking 0723	<p>Kristian B to investigate signage for the loading dock area between the Hall and RSL with Traffic and Transport Engineer Ohid Moraid. This is a matter of urgency as it is being used for casual parking and hirers and users of both the RSL and Hall are having trouble accessing sites.</p> <p style="text-align: right;">Action KB</p>
	7.14 Seating Capacity in Public Hall 0723	<p>MSC advised that there wasn't a calculation for cabaret seating and it was decided to leave the capacity at 450 in the Public Hall as we are unable to determine the set up of hirers.</p>
	7.15 Steam Cleaning 0723	<p>Ron G to arrange steam cleaning and window cleaning every 3 months in both the Public Hall and Supper Room</p> <p style="text-align: right;">Action RG</p>
	7.16 Wall Marks on Stage wall 0823	<p>Ron G to obtain painting quotes for the dado wall in front of the stage.</p> <p style="text-align: right;">Action RG</p>
8.	Secretary's report	
	8.1 Inwards correspondence	<p>MSC – Operational Grant MSC - Kitchen</p>



10. Booking Contractor's report – Report tabled and attached		
10.1 Business Arising	<p>All hirers charging an entry should be paying the Private Rate including not for profit organisations. Community groups like Rotary, Lions, CWA, Probus, RSL etc are exempt as they are definite community groups.</p> <p>Eric D advised that MSC are currently contacting him if they are unable to contact the Booking Contractor. Carol Y to contact MSC and advise them of the priority communication list and to exclude Eric D.</p> <p style="text-align: right;">Action CY</p> <p>Conditions of Hire, Frequently asked questions and Pricing in PDF form to be sent to Carol Y for sending to Programmable Soda for replacement on the website</p> <p style="text-align: right;">Action CY/DH</p> <p>Key Pick Up allocation details are now being sent on a Friday and not Mondays as previous due to a change of emails at MSC</p>	
<p><b>Resolution:</b></p> <p><b><i>That the Booking Contractor's report be received.</i></b></p> <p><b><i>Moved: Carol Y                      Seconded: Eric D</i></b></p> <p><b><i>Carried</i></b></p>		
11. Hall Keeper's report		
11. Business Arising	<p>Chain on Supper Room blind to be repaired</p> <p>Some hirers from outside the shire are leaving the Hall in an unsatisfactory condition and are happy to have the cleaning taken out of their bond. This is not satisfactory as there might be another hire directly after and our cleaner might not be able to get there in time. Dotty to further stipulate the type of cleaning required.</p> <p>Various items as already minuted</p> <p style="text-align: right;">Action RG/DH</p>	





## Minutes

**Committee of Management:** Blacksmith's Cottage & Forge Community Asset Committee

**Date of Meeting:** Tuesday, 26<sup>th</sup> September 2023

**Location of Meeting:** James Young Room, Lerderderg Library, 215 Main St., Bacchus Marsh.

**Meeting Opened:** 7.30pm

<b>Minute taker:</b>	Steff Latham
<b>Apologies:</b>	Lyn Egan, Heather Robson, Chrissy Stancliffe
<b>Absent:</b>	David Edwards
<b>Attendees:</b>	Steff Latham, Alan Comrie, Geoff Stancliffe, Jenny Arrowsmith, Simon Fisher
<b>Guest:</b>	Sharon Dickman

Confirmation of quorum - 6, yes

**Minutes of 22<sup>nd</sup> August 2023** – Moved: SL; Seconded: GS Carried.

Item A. Business Arising	
Discussion:	Action Items:
AGM - Lions speaker confirmed speaking about restoration of Chicory Kiln. Name to be supplied.  Cottage floor repairs – Ashley Malloy has left the Council.	SF to contact Phil Jeffries (cc: David Edwards) to find out who will be replacing Ashley.
Item B. Treasurers Report	
See attached.  Moved by: SF  Seconded by: SD	
Item C. Correspondence Report	
In: See report attached.  Moved by: GS  Seconded: SF	

<b>Item D. Sub-Committee Reports</b>	
	<b>Action items:</b>
<b>Cottage</b> – No works have been undertaken.	
<b>Bookbarn</b> – No report	
<b>Website/Social Media</b> - No report	
<b>C.H.H.A. Report</b> – No report	
<b>Building Works</b> – No report	
<b>Item E. General Business.</b>	
<p>Planning Workshop – Draft Objectives for Day plan produced by Sharon Dickman (see attached). Feedback from Committee members to be provided direct to Sharon Dickman prior to 7<sup>th</sup> October. Volunteers to be provided with a copy of the draft objectives document. Attendees of workshop are Committee members only.</p> <p>AGM – 17<sup>th</sup> October 7.30pm</p> <p>Previously listed Committee meeting on 24<sup>th</sup> October now cancelled and replaced by AGM on 17<sup>th</sup> October.</p>	<p>JA – book Lerderderg Library room. 10am 7<sup>th</sup> October 3 hrs.</p> <p>Committee members to provide feedback on Draft Objectives to Sharon Dickman prior to 7<sup>th</sup> October.</p> <p>SA – book Lerderderg Library room for 7.30pm</p> <p>CS - Mailout to all volunteers about AGM and Draft Objectives provided for comment prior to 7<sup>th</sup> October workshop.</p>
<b>Next Meeting Date:</b>	<b>Tuesday, 17th October 2023 - AGM</b>
<b>Time:</b>	<b>7.30pm</b>
<b>Venue:</b>	<b>James Young Room, Lerderderg Library, 215 Main St., Bacchus Marsh.</b>
<b>Meeting closed at:</b>	<b>8.03pm</b>

BACCHUS MARSH BLACKSMITHS COTTAGE AND FORGE ADVISORY COMMITTEE

TREASURERS REPORT

DATE 22nd August 2023

Bank Account		Bendigo Bank General Account			
Date	Particulars	Reference	Debit	Credit	Balance
22nd Aug 2023	Opening Balance				\$33,049.31
24th Aug	L Egan Reimbursement	458		\$533.51	\$32,515.80
23rd Aug	AGL Power	459		\$83.22	\$32,432.58
1st September	Interest		\$0.28		\$32,432.86
26th Aug	Takings-Cash		\$30.00		\$32,462.86
	Takings- Square		\$91.50		\$32,554.36
	Fees-Square			\$1.47	\$32,552.89
2nd Sept	Takings-Cash		\$75.00		\$32,627.89
	Takings- Square		\$30.00		\$32,657.89
	Fees-Square			\$0.48	\$32,657.41
9th Sept	Takings-cash		\$11.00		\$32,668.41
	Takings -Square		\$10.00		\$32,678.41
	Fees-Square			\$0.16	\$32,678.25
16th Sept	Takings-Cash		\$51.00		\$32,729.25
	Takings -Square		\$36.50		\$32,765.75
	Fees-Square			\$0.60	\$32,765.15
23rd Sept	Takings-Cash		\$12.00		\$32,777.15
	Takings -Square		\$53.00		\$32,830.15
	Fees-Square			\$0.84	\$32,829.31
26th September	Closing Balance				\$32,829.31

		Bendigo Bank Term Deposit 157553157			
Date	Particulars	Reference	Debit	Credit	Balance
23rd June 2023	Balance held				\$22,195.06

Note Renewal date 23rd November 2023

OUTSTANDING ACCOUNTS

Name	Particulars	Amount	Due

CORRESPONDENCE REPORT  
SEPTEMBER 2023

**INWARDS CORRESPONDENCE**

- |  |                     |
|--|---------------------|
| ✦ Siti Kalimah (cleaner)   | 28th August 2023    |
| Ashley Malloy - Moorabool Shire re future communication  | 31st August 2023    |
| > Bendigo Bank statement   | 22nd September 2023 |
| Moorabool Shire re Business Growth and Innovation  | 25th September 2023 |
| ▸ Nicholas Sluggett - Moorabool Shire re Annual Management Agreement and Community Asset Committee Annual Report | 25th September 2023 |

*Chrissy Stancliffe*

## Blacksmith's Cottage and Forge Planning Workshop

*The Blacksmiths Cottage and Forge Committee has a vision of being restorers and caretakers of a small slice of Bacchus Marsh's history for the benefit of generations to come. Our goal is to operate as a "living museum" with visitors being able to **feel part of the past and to appreciate the lifestyle of our pioneers.***

Objectives for the day:

1. Define the "**slice of Bacchus Marsh history**" covered by the mission:
  - Is it the blacksmith (s) and their family/descendants (Vere Quaile/Thomas Manly/Hugh Meikle)
  - Is it the role/importance of a blacksmith in the Bacchus Marsh community?
  - Both
  
2. Define the time period covered by the mission: "**to feel part of the past and to appreciate the lifestyle of our pioneers**".

**Proposed:** The time period should cover from the completion of the cottage and establishment of the blacksmith's forge through to the introduction/expansion of electricity supply in 1926 – a time span of 70 years.

3. How important are each of the four key elements in delivering the mission? Can they be ranked in order of importance/focus?
  - The Cottage
  - The Forge
  - The outbuildings
  - The gardens
  - The grounds
  
4. Identify our key audiences: **in order of importance/relevance**
  - Local residents generally (including new residents)
  - Local school groups
  - Local community groups (senior citizens, Rotary, Lions, etc.)
  - School groups from the region
  - Visitors (people visiting friends and family in the area)
  - Tourists visiting Bacchus Marsh for special events or passing through
  - Regional group tourists (such as Lions, Rotary, Zonta, car clubs, etc.)
  - For ourselves – local history buffs, historic society, CHHA
  - Other
  
5. How do we tell the story effectively to the prioritised groups?
  - Static display – cottage and forge

- Guided tours – cottage and forge
  - School tours – with worksheets/handouts
  - Special events linked to community events/holidays (Easter, Strawberries and Cherries, ANZAC Day, Heritage Week, Senior Citizens festivals, etc.)
  - Special events free-standing (e.g. Quilt displays, cookery displays, blacksmith demonstrations, open gardens )
  - Open gardens and ground displays
  - Other
6. What is needed for the Cottage to tell its story?
- Complete documentation of the collection
  - Development of room-by-room interpretation plan
  - Review of collection items, relevance, condition and deaccession recommendations
  - Re design and set up of rooms
  - Plan for ongoing maintenance/cleaning/changing of displays
  - Is the story told through static displays? (Self guided with labels)
  - Is the story told through guides/tours?
  - What signage is required?
  - Other
7. What is needed for the Forge to tell its story?
- How important is the dual role of the Forge in the context of the mission and vision
  - Forge/Bookbarn is a valued community resource for the people of Bacchus Marsh
  - Forge/Bookbarn is a important economic resource for the Committee
  - Forge/Bookbarn is an important source of visitors to the complex
  - Forge/Bookbarn is an important point of reference for people who may otherwise not engage with the cottage
  - Forge/Bookbarn has a key role in interpreting/presenting the Cottage and Forge story
  - Is the story told through static displays (Self guided with labels)?
  - Is the story told through guides/tours?
  - What signage is required? (Banners for Bookbarn are already happening)
  - Other?
8. How do we tell the "story" of the outbuildings/grounds/gardens?
- How important are the outbuildings/grounds/gardens in terms of the mission?
  - Do we need to document the collection, including condition reports and deaccession recommendations?
  - Any health and safety issues to be considered for outbuildings and equipment?
  - How important are the gardens at the front/side of the Cottage?
  - What landscaping needs to be done? Historical accuracy?
9. Who will do the work?
- Current volunteers
  - Specially skilled recruited volunteers (in what areas?)

- Paid consultants/staff?
- Council
- Community groups as volunteers for specific projects
- Newly recruited general volunteers
- Committee members
- Volunteers from other local/regional historical or cultural groups
- State/Federal/non-government agencies and granting authorities
- Other?

10. What are the key potential threats/issues/potential problems to achieving the Committee's mission?

- Roundabout/road works?
- Lack of support from Council
- Lack of manpower (person power!?!)
- Community apathy towards Cottage and Forge
- Lack of funds
- Other

#### 11. Key actions/development of Today's discussion

- What are the three most important things we need to do as a result of today's planning discussion?
- What would we like to see happen before the end of 2023? (Responsibility)
- What would we like to see happen in the first three months of 2024? (Responsibility)
- What would we like to see happen by the end June 2024? (Responsibility)
- **Already underway**: digitation of cottage collection. There is no database of the items in the cottage collection so this is being undertaken now. A basic draft collection record and review will be undertaken including condition reports and deaccession recommendations.
- **Already underway**: assessment and repair to floors in Cottage (progressing very slowly)
- **Already underway**: upgrading of signage for Bookbarn

12. Results of this planning session will be documented and circulated with the October Committee Meeting Agenda. Thanks for everyone for attendance and participation.



## Minutes

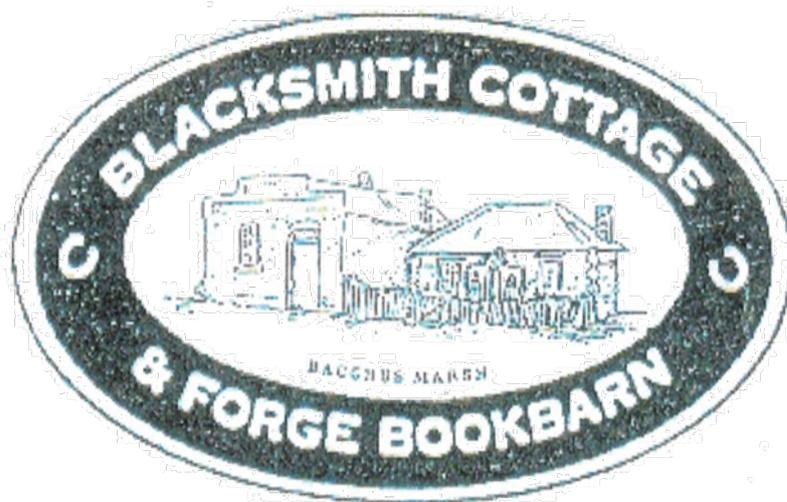
**Committee of Management:** Blacksmith’s Cottage & Forge Community Asset Committee  
**Date of Meeting:** Tuesday, 17<sup>th</sup> October 2023 - Annual General Meeting  
**Location of Meeting:** James Young Room, Lerderderg Library, 215 Main St., Bacchus Marsh  
**Meeting Opened:** 7.30pm

<b>Minute taker:</b>	Steff Latham
<b>Apologies:</b>	Lyn Egan, David Edwards, Simon Fisher
<b>Absent:</b>	
<b>Attendees:</b>	Heather Robson, Steff Latham, Alan Comrie, Geoff Stancliffe, Chrissie Stancliffe, Jenny Arrowsmith, Sharron Dickman
<b>Guests:</b>	Councillor Moira Berry, Russ Hendry (Lions Club), Norm Caboon (Lions Club) Volunteers: Sandra Ball, Helen Whiteley, Margaret Simpson, Peter Richards, Ron Guerts, Heath Sampson, Brenda Robinson

<p><b><u>Welcome</u></b></p> <p>Chair, Alan Comrie, extended welcome to all present.</p> <p><b><u>Acceptance of Minutes of Meeting 22<sup>nd</sup> September 2023</u></b></p> <p>Moved: Stephanie Latham                  Seconded: Geoff Stancliffe                  Carried</p> <p><b><u>Minutes of Previous AGM</u></b></p> <p>The Minutes of the Annual General Meeting of 23 August 2022 previously distributed electronically to Committee members.</p> <p>Moved: C. Stancliffe                  Seconded: J Arrowsmith                  Carried</p> <p><b><u>Guest Speaker</u></b></p> <p>Russ Hendry, Lions Club – Presentation: The restoration of the Bacchus Marsh Chicory Kiln</p> <p>Alan Comrie provides thanks and gift to Russ Hendry.</p>	
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<p><b><u>Nomination of Committee members to end 2023 and year 2024</u></b></p> <p>The Committee for 2023 to 2024 is duly confirmed:</p> <p>Office Bearers: Allan Comrie (Chair), David Edwards (Shire Representative), Chrissy Stancliffe (Correspondence Secretary), Simon Fisher (Treasurer), Stephanie Latham (Minute Secretary)</p> <p>General Members: Lyn Egan, Geoff Stancliffe, Heather Robson, Jenny Arrowsmith, Sharron Dickman</p> <p>Heath Sampson – proposed and elected to Committee</p> <p><b><u>Reports</u></b></p> <p>Full 2023 Annual Report distributed at AGM: See attached.</p>		<p>SL to forward HS Nomination Form for completion and forwarding to MSC</p> <p>Moved: C Stancliffe.; Seconded: S Latham; Carried</p>
<b>Next Meeting Date:</b>	<b>Tuesday, 21 November 2023</b>	
<b>Time:</b>	<b>7.30pm</b>	
<b>Venue:</b>	<b>James Young Room, Lerderderg Library, 215 Main St., Bacchus Marsh.</b>	
<b>Meeting closed at:</b>	<b>8.14pm followed by supper</b>	

BLACKSMITH COTTAGE  
AND FORGE  
COMMUNITY ASSET  
COMMITTEE



**ANNUAL REPORT  
2023**

17TH OCTOBER 2023

2

### FORGE BOOK BARN ANNUAL REPORT— 2023

The historic atmosphere of the Forge continues to charm many tourists and newcomers to our town whilst our regular locals call in to stock up on their weekly reading material. We continue to receive a steady stream of book donations which mostly consist of great quality books eagerly snapped up by our customers.



The Book Barn operates as a community enterprise and strives to provide good quality second hand books as well as older and historically significant books.

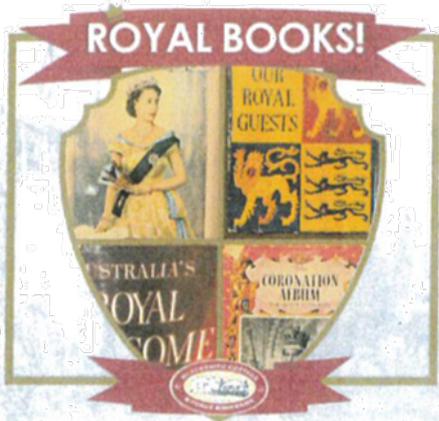
From the positive feedback we have received it appears that we are achieving these goals.

Our annual takings are itemised in the treasurer's report. Our thanks go to Simon for his monthly reports which give us a valuable insight into the financial progress of the Book Barn.

Our continued success results in a steady stream of income to help support the Blacksmith Cottage and Forge Complex. Another positive outcome of the book barn is the often overlooked Social and Community benefits. Many of our volunteers are new to town or recently retired and find that volunteering at the book barn is a good way to forge new friendships and to contribute to the community.

The Book Barn subcommittee consists of myself, Jenny Arrowsmith, Heath Sampson and Mollie Henry. We usually meet monthly and report to the main committee. I manage the book barn, recruit and support the volunteers, create and oversee the Volunteer roster. This is a big job so I am very grateful to the assistance given to me in this role by Jenny.

Heath has brought his invaluable knowledge and experience to the Book Barn by developing new manuals for volunteers and revising our social media platforms. He has revamped our face book page so that we now have regular and interesting posts on it.



We encourage you to check out our face book page and share some of the posts with your friends.

Mollie has taken on the role of managing the display board in the Book Barn and assisting with re organising the categories and shelving of books. We very much welcome a younger person's perspective to the Book Barn.

Continued on page 3

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Continued from page 2

In addition to thanking my fellow subcommittee members, I would like to say thank you to Ron Geurts who is our 'go to' person for all maintenance issues and for the never-ending task of finding a new home for discarded books. Likewise, I would like to thank Chrissy and Geoff Stancliffe for making sure we have enough cash in the till and for supplying fire wood to keep us and our visitors warm.



Our volunteers continue to be our most valuable asset for without them we would cease to operate. Volunteer recruitment strategies continue to be an ongoing task for the subcommittee.

Over the last few years, we have had some volunteers retire but have also seen many new faces join our team. We currently have over 30 volunteers ranging in ages from their mid 20's to mid 80's. All of these volunteers play a vital role to the ongoing success of the Book Barn and are all greatly appreciated.

The last two years have seen many challenges and changes to the operation of the Book Barn. Like many other groups and businesses, we have had to deal with the effects of COVID. After a long period of closure,

on reopening it was decided to review our operating hours to being only Saturdays but with extended hours from 10am – 4pm. When the Cottage reopens we plan to increase our trading hours so that the Book Barn will be open on the days that the Cottage is open.

Upon reopening we found that our customers were asking to pay by card rather than by cash. To move with the times we decided to set up a 'cashless' payment by card system.



After quite a few teething problems installing the system and creating a training manual for volunteers I am pleased to report that the card reader is now up and running smoothly with payment by card overtaking payment by cash.

Our sincere thanks go to the Bendigo Bank who financed the 'card reader', the mobile phone, new desk and a two year internet plan.

We anticipate that the next 12 months will see us extending our opening hours, forming a stronger presence on Social Media and after the Cottage reopens the Book

Barn and Cottage can work together to provide a valuable service to visitors and our community.

However, in conclusion, it should not be forgotten that the main reason why 'we do what we do' is to preserve and promote one of the most prominent and important heritage sites in Bacchus Marsh for generations to come.

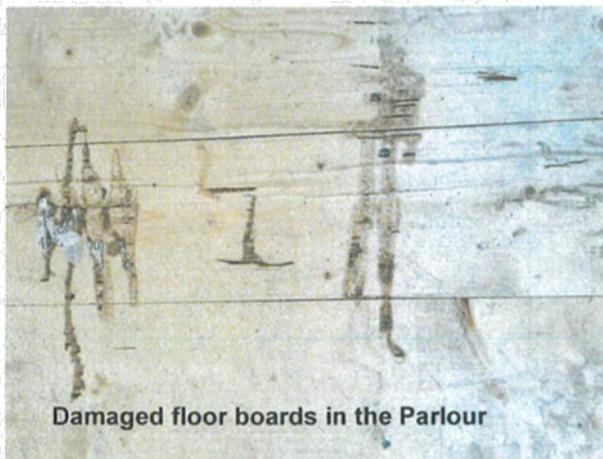
Lyn Egan

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### BLACKSMITH COTTAGE REPORT 2023

In thinking about what to report for this years Annual General Meeting the first thing that came into mind was ...Nothing. What could we possibly report.

The Cottage had shut it doors to the public at the start of COVID, and, to this day still remains shut. Not because of COVID, but because of those pesky hungry termites/white ants that seem to like the new floor boards in the Parlour. We didn't invite them and we certainly don't want them in our heritage building. They have had a 1000 litre dose of poison that sent them on their way in early 2022 and Dawsons Pest Control people have checked that no little critters remain but still we are not open to the public or our volunteers



Damaged floor boards in the Parlour

In May 2022 the committee discussed the need to address a number of maintenance issues throughout the cottage. This entailed the need to replace the floor boards in the Parlour again, replace the lino throughout the cottage (which is a health and safety issue), repair the three rotted timber windows and frames in the two front rooms, and to repair cracks in the render of the internal walls of the front two rooms.



Window frame in the bedroom

The above works are in the hands of the Moorabool Shire Council and our Heritage advisor. We have forwarded the estimated costs for these repairs and are still awaiting works to begin.

Progress with the cottage repairs have been hampered by the uncertainty surrounding the construction of the proposed traffic lights at the intersection of Main and Gisborne Roads. Committee have been working with Moorabool Council, Heritage Victoria and with Regional Roads Victoria regarding the impact of the road works on the fragile structure of the cottage. We hope to address the flooring repairs as soon as possible with other repairs taking place at a later date.

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Kitchen has turned into a storage area

Storage boxes were purchased and all furniture and fragile items were packaged up and removed to the Paint Shed, Kitchen and storage room of the cottage in anticipation of the works beginning. Once the flooring repairs are complete we intend to take a fresh look at the displays within the various rooms and prepare them for a reopening of the cottage. We look forward to working with our volunteers to revamp the displays within the cottage and also to revitalise our gardens.

Our Heritage Consultant guru, Wendy Jacobs, has stepped back and Ruth Redden has taken her place. It has been a pleasure to work with Wendy for many years on our heritage buildings and the various works that have been undertaken. We also thank Ashley Malloy from the Moorabool council for assisting us and liaising with the council

regarding our much needed repairs. We wish her well in her new position.

Lastly, we thank our volunteers for their continued interest in the cottage and we look forward to welcoming them back.

**Chrissy, Heather and Sharron.**

### Social media snapshot

The social media strategy aims to increase longer term community awareness of The Blacksmith Cottage and Forge Bookbarn with an engaging and more consistent online presence. Topics will range from the informative and historical, to a focus on our amazing volunteers and occasional promotions. Since the launch in September, the posts have seen considerable growth and engagement from community members.



All statistics as at October 5, 2023.

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**Blacksmiths Cottage & Forge Special Committee  
Detailed Profit and Loss Statement  
For the year ended 30 June 2023**

	2023
	\$
<b>Income</b>	
Interest received	\$156.82
Moorabool Shire Community Grant	\$5,066.02
Book Barn/Cottage	\$6,833.29
Bendigo Bank Grant	
<b>Total income</b>	<u>\$12,056.13</u>
<b>Expenses</b>	
Bank Fees And Charges	\$0.40
Book Barn Supplies	\$164.42
Building and Grounds Maintenance	\$60.64
Cleaning and rubbish removal	\$1,500.00
CHHA Subs	
Computer Costs	
Consultants fees	\$180.00
Electricity	\$588.29
Heating	\$420.00
Keys	
Membership- Museum Australia	\$150.00
PO Box Rental	\$153.00
Telephone	\$189.83
Sim card	\$200.00
Web Site Sever Fees	
<b>Total expenses</b>	<u>\$3,606.58</u>
<b>Net income</b>	<u>\$8,449.55</u>

Term Deposit 30th June 2022	\$22,040.64
Cash at Bank 30th June 2022	<u>\$23,999.19</u>
<b>Total Funds Available 30th June 2022</b>	<u>\$46,039.83</u>
Net Income for the year	<u>\$8,449.55</u>
<b>Balance of Funds Available 30th June 2023</b>	<u>\$54,489.38</u>

***Represented by***

Term Deposit Bendigo bank 30th June 2023	\$22,195.06
Cash At Bank Bendigo Bank	<u>\$32,294.32</u>
	\$54,489.38

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# COMMITTEE MEMBERS

Councillor Alan Comrie (Chairperson)

Jenny Arrowsmith  
David Edwards  
Simon Fisher  
Heather Robson  
Geoff Stancliffe

Sharron Dickman  
Lyn Egan  
Stephanie Latham  
Chrissy Stancliffe

## VOLUNTEER LIST 2023

Jenny Arrowsmith  
Sandra Ball  
Johanna Botman  
Tineke Carr  
Betty Charge  
Bill Charge  
Allan Comrie  
Jakki Dawson  
Sharron Dickman  
David Edwards  
Lyn Egan  
Matt Egan  
Simon Fisher  
Anne Freeman  
Ron Geurts  
Trish Gray  
Jill Green  
Tess Gurski  
Anita Henry  
Mollie Henry  
Bernice Hudson  
Prabhsimran Kaur  
Stephanie Latham  
Kath McLaughlin

Barbara Manly  
Richard Neylon  
Shirley Neylon  
Angela Penrose  
Joy Read  
Peter Richards  
Brenda Robinson  
Heather Robson  
Mark Robson  
Heath Sampson  
Lynda Scott  
Jeanette Scott-Martin  
Margaret Simpson  
Derek Smith  
Jun Smith  
Moira Smith  
Chrissy Stancliffe  
Geoff Stancliffe  
Kathy Vafiadis  
Glenys Watson  
Andy Whiteley  
Helen Whiteley  
Annie Williamson

50?



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