



# **ATTACHMENTS**

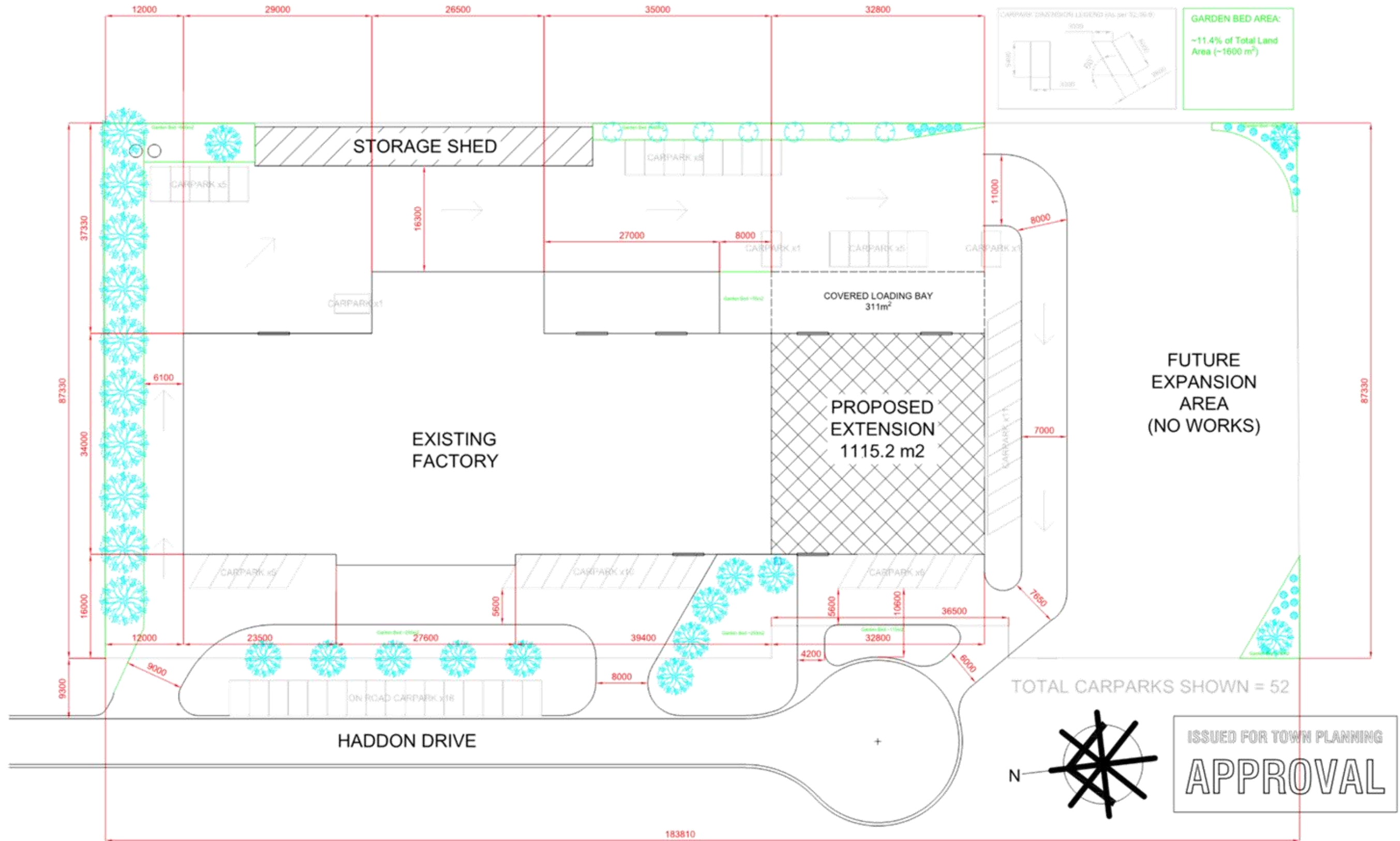
**Development Assessment Committee  
Meeting  
Under Separate Cover  
Wednesday, 17 May 2023**



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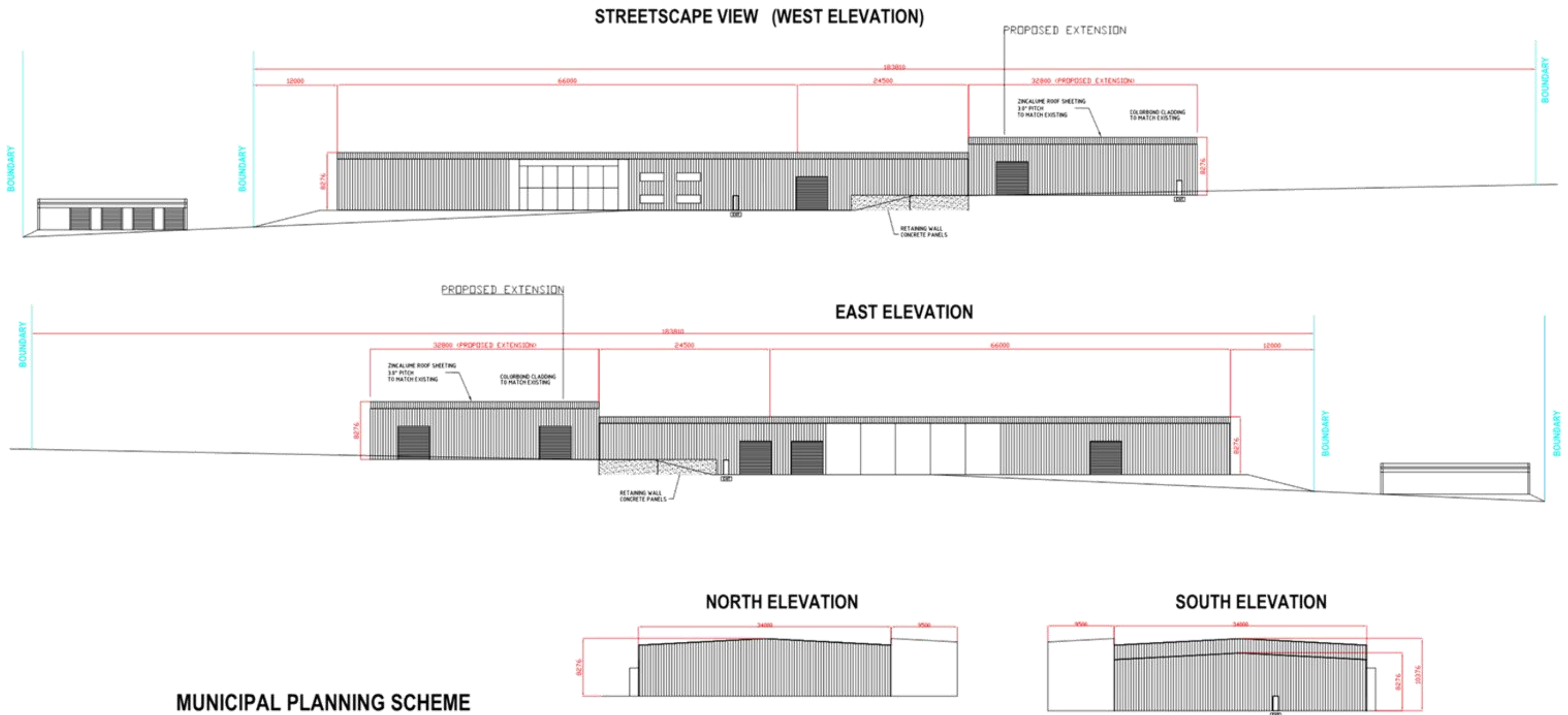
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7.2	PA2022220 - Development of an Extension to a Building used for Industry, a Reduction of Car Parking (Nine Car Spaces) and a Waiver of Bicycle Facilities at Lot 1 on PS619842Y known as 53 Haddon Drive, Ballan	
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Scale	Job/Drawing Name	
Do not scale drawings	PROPOSED FACTORY EXTENSION	
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subject to change without notice	53 Haddon Drive Ballan	
Drawn Andrew Ferguson	Job No	Size
	Date 16/02/2023	



**MUNICIPAL PLANNING SCHEME**

- 33.01.1 THE SITE IS LOCATED ON INDUSTRIAL 2 ZONE THE THRESHOLD DISTANCE IS GREATER THAN 100M (693.4m) TO THE NEAREST RESIDENTIAL ZONE. THE PROPERTY IS ON THE BOUNDARY OF INDUSTRIAL ZONE 2 AND FARMING ZONE
- 54.02-1 NEIGHBORHOOD CHARTER OBJECTIVE TO ENSURE THAT THE DESIGN RESPECTS THE EXISTING NEIGHBORHOOD CHARACTER
- 54.02-2 NEIGHBORHOOD CHARACTER OBJECTIVE INTEGRATE THE LAYOUT OF THE DEVELOPMENT WITHIN THE STREET

- 54.03-2 NEIGHBORHOOD HEIGHT OBJECTIVE TO ENSURE THAT THE HEIGHT OF BUILDINGS RESPECTS THE EXISTING OR PREFERED NEIGHBORHOOD CHARACTER
- 54.03-3 IF NO MAXIMUM HEIGHT IS SPECIFIED IN THE ZONE THE MAXIMUM BEULDING HEIGHT SHOULD NOT EXCEED 9.0m
- CHANGES IN BUILDING HEIGHT BETWEEN EXISTING BUILDINGS AND NEW SHOULD BE GRADUATED

ISSUED FOR TOWN PLANNING  
**APPROVAL**



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Scale	Job/Drawing Name	
Do not scale drawings	PROPOSED FACTORY EXTENSION ELEVATIONS	
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subject to change without notice	Job No	Size
Drawn Andrew Ferguson	Date	01/02/2023

# Planning drawings

## GENERAL NOTES

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code series 2019 Building Code of Australia Vol.2 and all relevant current Australian Standards (as amended) referred to herein.
- Unless otherwise specified, the term BCA shall refer to the National Construction Code Series 2019 Building Code of Australia Volume 2.
- All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor (forewith referred to as RBS) as meeting the requirements of the Performance Requirements.
- Glazing, including safety glazing shall be installed to a size, type and thickness so as to comply with:  
BCA Part 3.6 for Class 1 and 10 buildings within a design wind speed of not more than N3; and  
BCA Vol 1 Part B1.4 for Class 2 and 9 buildings.
- Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: *Waterproofing of Domestic Wet Areas*.
- These drawings shall be read in conjunction with any House Energy Rating Report (HERS) and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
- Step sizes (other than for spiral stairs) to be: Risers (R) 190mm max. and 115mm min. - Going (G) 355mm max. and 240mm min. 2R + 1G = 700mm max. and 550mm min. with less than 125mm between treads.
- All treads, landings and the like to have a slip resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/ or treads. Barriers (other than tensioned wire barriers) to be:  
1000mm above finished surface level of balconies, landings and the like, and  
865mm minimum above finished surface level of stair nosing or ramp, and  
vertical with less than 125mm gap between, and  
and horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/ or treads.
- Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 buildings and NCC 2019 BCA Vol.1 Part D2.16 for other Classes of Buildings.
- Top of handrails to be minimum of 856mm vertically above stair nosing and floor surface of ramps.
- Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all round.
- Where the building (excluding detached Class 10) is located in a termite prone area, the building is to be provided with a termite management system.
- Concrete stumps:  
up to 1400mm long to be 100mm x 100mm (1 No.HD wire), 1401mm-1800mm long to be 100mm x 100mm (2 No. HD wires), 1800mm - 3000mm long to be 125mm x 125mm (2 No.HD wires), 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork is provided.
- Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1 - 2010 'Masonry in small buildings' Part 1: Design.
- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
- These drawings shall be read in conjunction with all relevant structural and all other consultant's drawings/ details and with any other written instructions issued in the course of the contract.
- Site plan measurements in metres(m) - all other measurements are in millimetres(mm).
- Figured dimensions take precedence over scaled dimensions.
- The Builder or Sub-contractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Sub-contractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footings and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the client of Lee B De Jong Residential Design & Planning ('The Designer') for the purpose expressly notified to the Designer. Any person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/ or reliance.
- A Building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The Client and/ or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Lee B De Jong Residential Design & Planning except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Lee B De Jong Residential Design & Planning.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a Contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- Stormwater drains to be Class 6 UPVC stormwater drains laid to a minimum grade of 1:100 and connected to the legal point of discharge. Provide inspection openings at 9000mm centres and at each change of direction.  
Cover to underground stormwater shall not be less than - 100mm under soil, 50mm under paved or concrete areas, 100mm under unreinforced concrete or paved driveways, 75mm under reinforced concrete driveways.
- Site classification to be as per Engineers Soil Report referred to in these drawings.
- Design Wind Gust Speed or Wind Classification to have Building tie-downs in accordance with AS1684-2010 for an assumed design gust wind speed/ wind classification referred to in these drawings.
- Climate Zone to be as per that nominated within the Thermal Energy Assessment.
- Corrosion protection of built-in structural steel members such as lintels, shelf angles, connectors, accessories (other than wall ties) to be strictly in accordance with Table 4.1 of AS 4773.1 - 2010 *Masonry in Small Buildings Part 1: Design*.
- Corrosion Protection for sheet roofing to be in accordance with BCA Table 3.5.1.1a.

## SITE PREPARATION

- Builder to be responsible for the shutting off of all existing services prior to commencement of work where required with alteration work and re-connection at the completion or as required and stipulated within the Project Specifications.
- Where nominated on these drawings that fill is required, the Builder to ensure that such fill is clean and free of organic matter and other debris, and where compaction is required, to be carried out in accordance with these drawings or as nominated by the relevant Engineer footing or site preparation design.
- The Owner is to verify and be responsible for all title boundaries as documented on the relevant title document.
- The Builder shall clear the site of all top soil, debris and organic matter to the immediate construction area.

## CONCRETE

- Unless otherwise noted on these drawings or on accompanying Engineering documentation and design, all structural concrete is to be a minimum 20mpa and to have a nominal slump of 100mm.
- Concrete for footings and footings generally to be in accordance with A.S.2870-2011 unless otherwise nominated on the Engineers Design.
- All footings to be founded down to a soil of suitable bearing capacity as nominated as a minimum in the soil test and footing design, and all trenches, footings and reinforcement to meet the minimum requirements of such design.
- Engineering footing design overrides any corresponding footing detail discrepancy nominated on these drawings.
- Control joints to be in accordance with A.S.3600 unless otherwise nominated in Engineers Design.
- All aggregates used in any concrete on this project to be clean and free of dust and all organic matters and to be dry at time of mixing.

## BRICKWORK & MASONRY

- Unless otherwise noted on these drawings or in accompanying specification, brickwork shall be laid as Stretcher Bond and in accordance with current best practices.
- Damp proof courses, flashings, brick ties, weepholes and sub-floor ventilation to be supplied and installed as per the Building Code of Australia Regulations (BCA) or the National Construction Code (NCC).
- Articulation of brickwork to be as nominated on these drawings or as per Engineers Design. Joints to be continuous from base of wall to top.
- All aggregates used in any mortar on this project to be clean and free of dust and all organic matters and to be dry at the time of mixing.

## CARPENTRY AND JOINERY

- All timber framing to be strictly in accordance with A.S.1684 and as per the requirements of the BCA and NCC.
- All pre-fabricated structural timber elements shall be installed as per the manufacturers specifications including and bracing, tie downs and other accessories.
- Unless otherwise noted within these drawings, all eaves barge and soffits shall be lined with 4.5mm thick fibre cement sheet.
- Timber framing to box gutters will be set up to provide suitable fall of a minimum of 1:100 to nominated outlets.
- Ceiling access point must be installed to all ceiling cavity spaces where access is possible.
- All claddings, timber or other to be suitably protected from weathering and in the case of alternate claddings, proprietary cappings and recommended installation are to be adopted in full.
- External timbers, such as for stairs, to be of suitable species and treatments for the conditions for which it is to be exposed.

- Where structural timbers are to be exposed externally, they shall be suitable coated, primed or treated to adequately perform without rotting or deterioration.
- Joinery generally, where not indicated on these drawings, shall be determined by the Specifications and or through consultation between Joiner and Builder.
- Locks and door furniture to be strictly as per the minimums within the NCC and shall be as per the Specifications.
- Where steel framing for walls and or trusses, the details and installation shall be as per manufactures specifications.
- Lift off door hinges to be provided where 1200mm clearance from door swing to sanitary pan cannot be achieved.

## ENERGY PROVISIONS

- The energy provisions required under the NCC for residential commercial or industrial structures shall be as per these drawings in conjunction with HERS FirstRate5 software Certificate and or Deemed to Satisfy and other supporting documentation.
- Standards and levels of insulation may not be reduced in any manner without consultation with this office whereby an amended certificate may be required to be issued by this office.
- Builder is to ensure that all adequate measures are undertaken to reduce the build up of condensation with the use of breathable or anti-condensation wraps. Where adequate ventilation cannot be achieved, suitable natural or mechanical air extraction may be required. No such device indicated on these drawings is to be removed without prior consultation with this office.
- Builder or installer of insulation is to ensure that no unnecessary compression of batts occurs during installation and that foils and wraps are pulled tightly to avoid creasing and folding. To eaves, Builder to ensure that eave batts are utilized and that insulation installed does not block paths of ventilation.
- All external doors and windows to be sealed and weatherstripped
- Insulation installer or Builder to ensure that adequate clearance exists to exhaust fans and lighting fittings.

## ROOFING

- Claddings and materials are to be as nominated on these drawings.
- Drainage to roofing to be strictly in accordance with A.S.3500
- Upon completion of iron roofing the Builder shall sweep down and remove any metal shavings or debris from the roof or guttering.

## WATER SUPPLY

- The Owner is responsible for the provision of a private water tap to the front of the property unless otherwise nominated in the Specifications.
- Hot Water Service to be installed as per these drawings and are to be strictly in accordance with regulatory water saving measures.
- Septic Tank, where required, shall be installed as per the approved requirements of the Local Health Authority.

## SEWER & DRAINAGE

- All sewer drainage to be carried out as per the Local Authority requirements.
- Sealed stormwater systems to be 100mm dia PVC to discharge into rainwater tanks with overflow to legal point of discharge. Minimum fall of 1:100 to be provided.
- Where cutting of soils occurs, the base of all cuts are to have a spoon an agricultural drain connecting to silt pits and attached to stormwater system.
- Septic Tank, where required, shall be installed as per the approved requirements of the Local Health Authority.

## ELECTRICAL

- Electrical layout to be as per that contained on these drawings as with electrical loadings nominated and as per the Energy Provisions of the BCA. Where alterations are made to the accompanying layout, the Builder and Electrician are to ensure that the maximum loads are not exceeded.
- Where no layout is provided the maximums contained in BCA shall apply.
- Smoke detectors to be fully interconnected, and to be installed and located strictly in accordance with A.S.3786

## PLASTERING & INTERNAL LININGS

- Unless notes otherwise on these drawings, all internal linings are to be 10mm thick plasterboard. Ceilings to be generally fixed to 22mm steel ceiling battens.
- Wet areas to be tiled or lined with water impervious surface material as per A.S.3740 and in accordance with NCC 3.8.1. Shower bases to be polymarble or similar unless noted otherwise as cast-in-situ. Cast-in showers are to be suitably sealed with approved sealing systems installed strictly to manufacturers specification.

## GLAZING AND WINDOWS

- All glazing to comply to A.S.1288 - Glass in Buildings.
- Windows nominated in these drawings and referenced in the energy report to be supplied as units with maximum 'U' Values and should not deviate more than 10% of the 'SHGC' value attributed to such unit. Substitution of any window units must still comply to the given values in the report.
- Grade A 4mm thick safety glazing to be used in wet areas as per BCA.
- Variations to glazing standards applies to areas deemed to be in a bushfire zone. BAL Construction notes found on these drawings (where applicable) will stipulate the required increase in glazing thickness or type.
- Openings to higher or upper storey sashes to have limited functioning for fall protection as per the NCC and BCA.

## PAINTING

- All external surfaces to be painted to be suitably cleaned and primed in preparation for painting in accordance with the paint manufacturers recommendations and coats also applied accordingly as a minimum of two.
- All external surfaces to be stained or clear coated to be suitably cleaned and prepared in accordance with the application suppliers recommendations and coats as such.
- Where dark coloured paints with a Light Reflective Value (LRV) of less than 40% are to be applied, applicable additives to be introduced into the paint to reduce heat absorption of the paint.

## CONDENSATION MANAGEMENT

- Pliable building membranes to comply and be installed as per A.S.4200.1 & 2 and to be vapour permeable in climate zones 6,7 & 8.
- Exhaust fans to be discharged via duct or shaft externally or to a suitably ventilated roof space in accordance with NCC 3.8.7.4.
- Exhaust fans to Kitchens and Laundries to have a flow rate of 40L/s and 25L/s to other sanitary compartments.

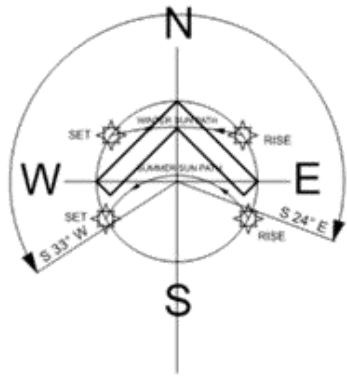
**BAL-12.5**

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Planning drawings

BAL-12.5



C.A. 4 (No.110)  
RURAL RESIDENTIAL - RESIDENCE  
GREATER THAN 9m FROM THE SITE  
GRASSLAND

C.A. 16  
RURAL RESIDENTIAL - RESIDENCE GREATER  
THAN 9m FROM THE SITE

214.45m (90° 00' 00")

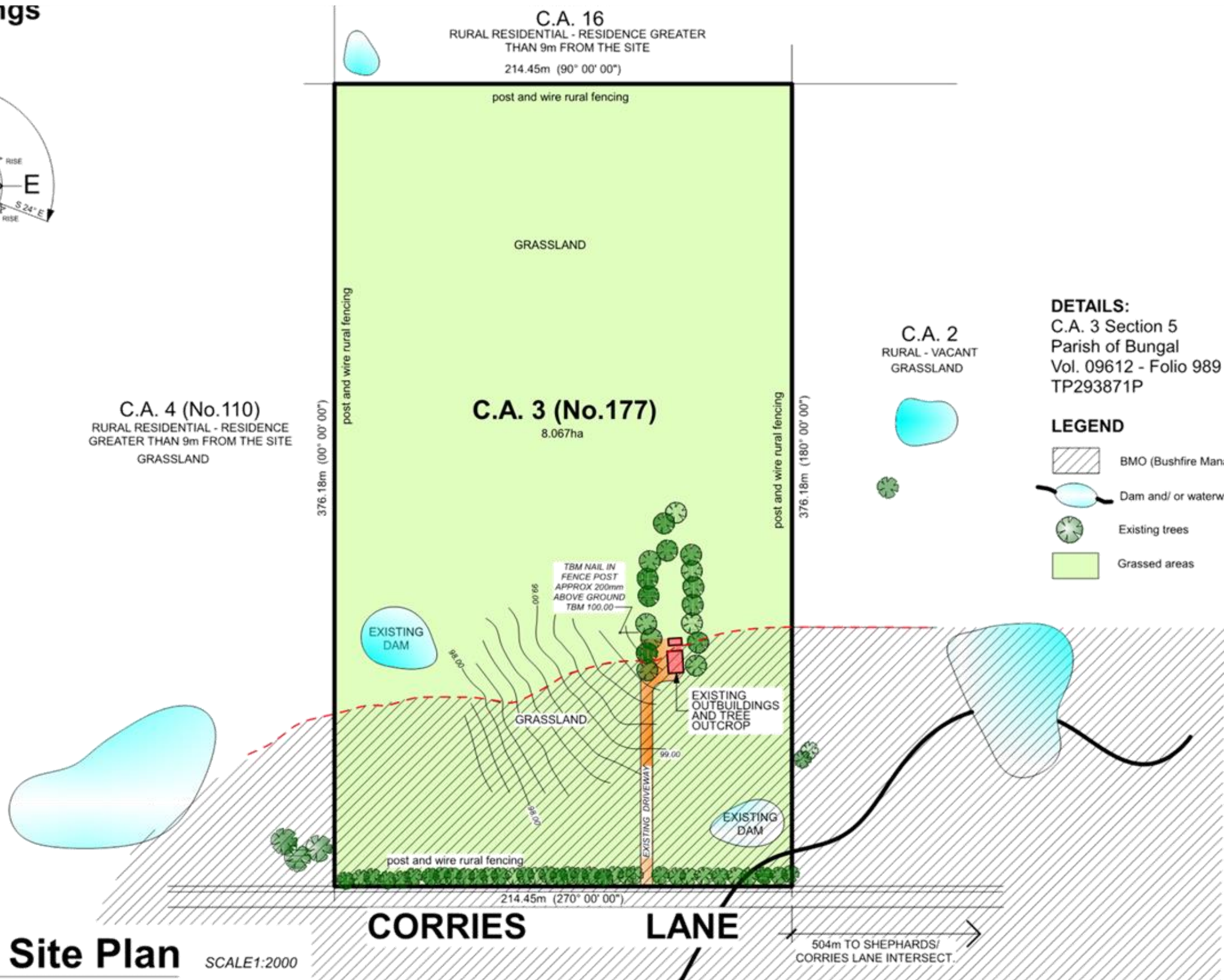
C.A. 3 (No.177)  
8.067ha

C.A. 2  
RURAL - VACANT  
GRASSLAND

**DETAILS:**  
C.A. 3 Section 5  
Parish of Bungal  
Vol. 09612 - Folio 989  
TP293871P

**LEGEND**

- BMO (Bushfire Management area)
- Dam and/ or waterway
- Existing trees
- Grassed areas



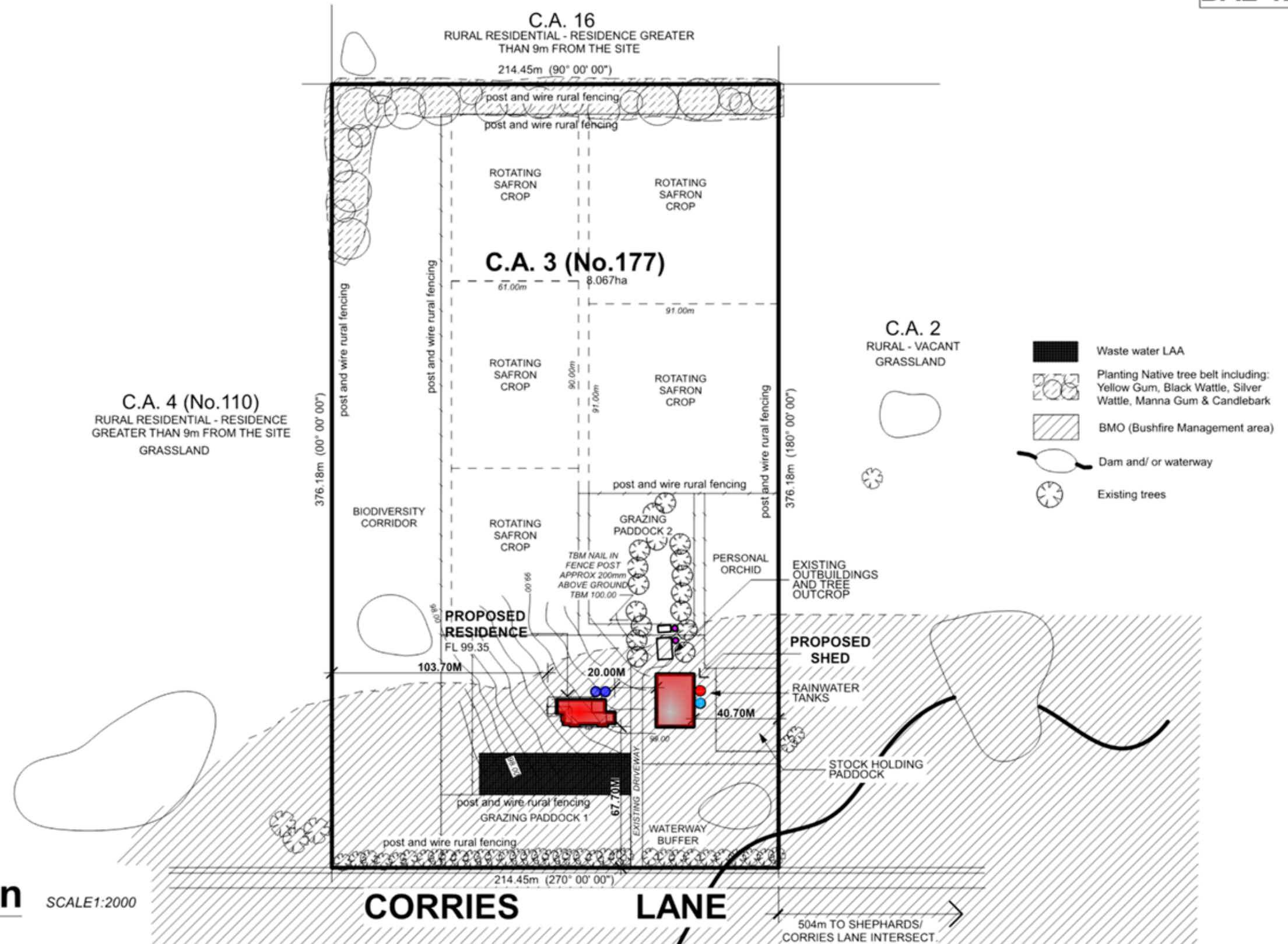
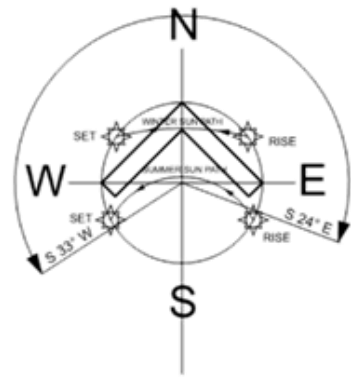
**Existing Site Plan** SCALE 1:2000

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Planning drawings

BAL-12.5



Proposed Site Plan SCALE 1:2000

CORRIES LANE

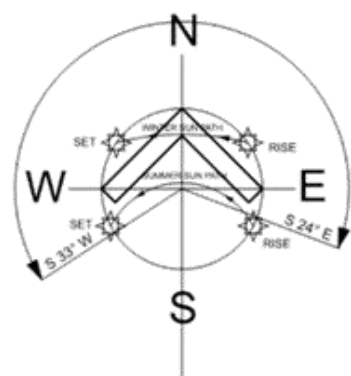
504m TO SHEPHERDS/ CORRIES LANE INTERSECT.

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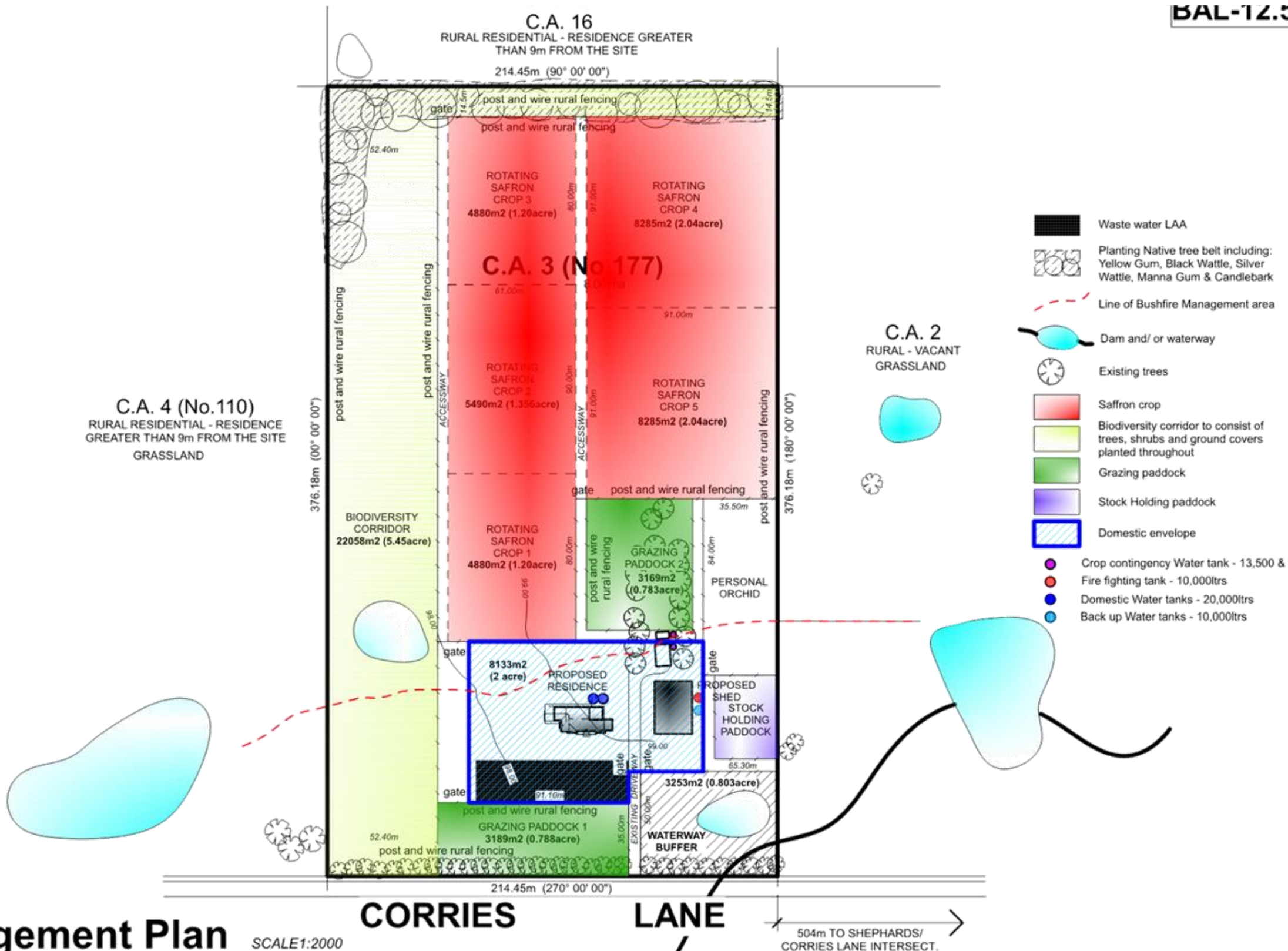
<p>DESIGN, DRAFTING &amp; TOWN PLANNING CONSULTATION</p> <p>p 03 5334 3463 m 0414 759 755 e ldejong39@gmail.com 11 Ningana Street, Alfredton, VIC 3350 Registered Building Practitioner DP-AD1792 Certified Energy Rater BDAV Member</p>	<p><b>PROPOSED NEW RESIDENCE AT 177 CORRIES LN, MOUNT EGERTON FOR J. SHERMAN &amp; R. SHERMAN</b></p>			<p>14A Neerim Cres. Mitchell Park, Vic, 3352. Ph. 03 5334 5054 Mob. 0419 106 901</p>	<p>SHEET DETAIL: <b>PROPOSED SITE PLAN</b></p>		<p>ORIGINAL SHEET SIZE: <b>A3</b></p>
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Planning drawings



BAL-12.5



Detailed Land Management Plan

SCALE 1:2000

CORRIES LANE

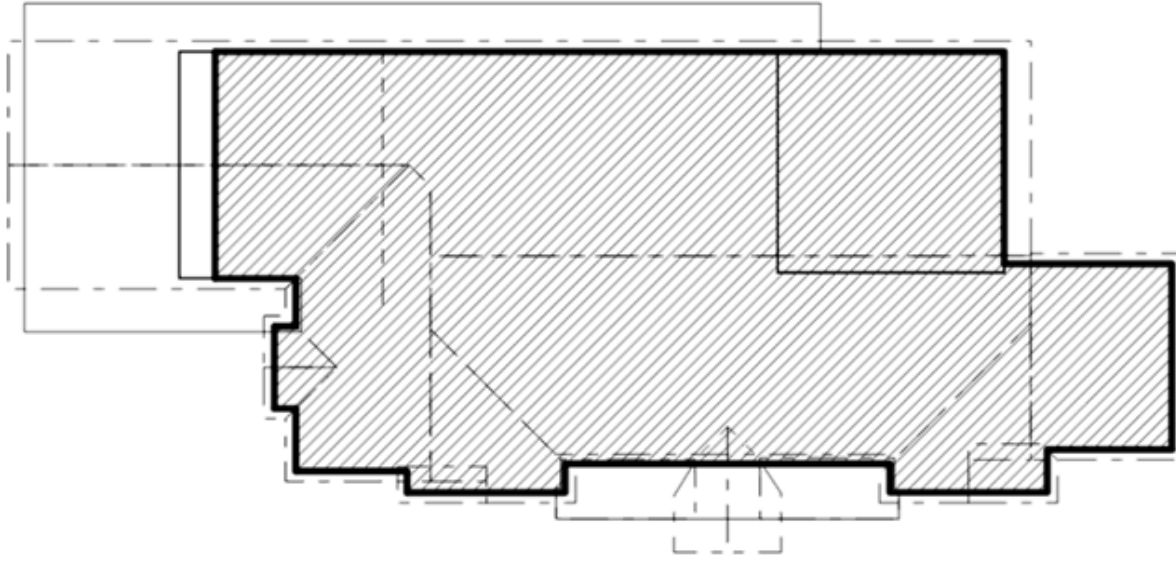
504m TO SHEPHERDS/ CORRIES LANE INTERSECT.

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**BAL-12.5**

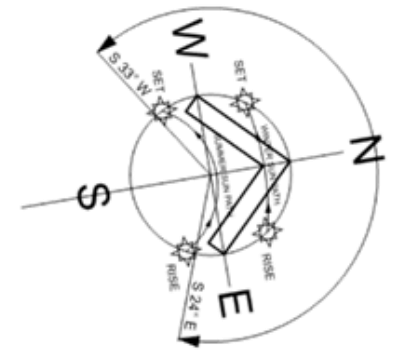


# Site Plan SCALE 1:200

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER THE COMPLETION OF SITE WORKS. **SITE SCRAPE ONLY TO 100.25**

DOWNPIPES TO CONNECT TO 100mm DIA SEALED PVC STORMWATER DRAINS WHERE SHOWN AND TO DISCHARGE INTO THE RAINWATER TANK. TANK OVERFLOW TO DISCHARGE INTO L.P.O.D. MIN. FALL 1:100. RAINWATER TANK TO HAVE 2000LTR SET ASIDE ALLOCATION FOR SANITARY FLUSHING PURPOSES

REFER CONTRACTS AND SPECIFICATIONS AS TO THE EXTENT OF FENCING ALLOWANCE

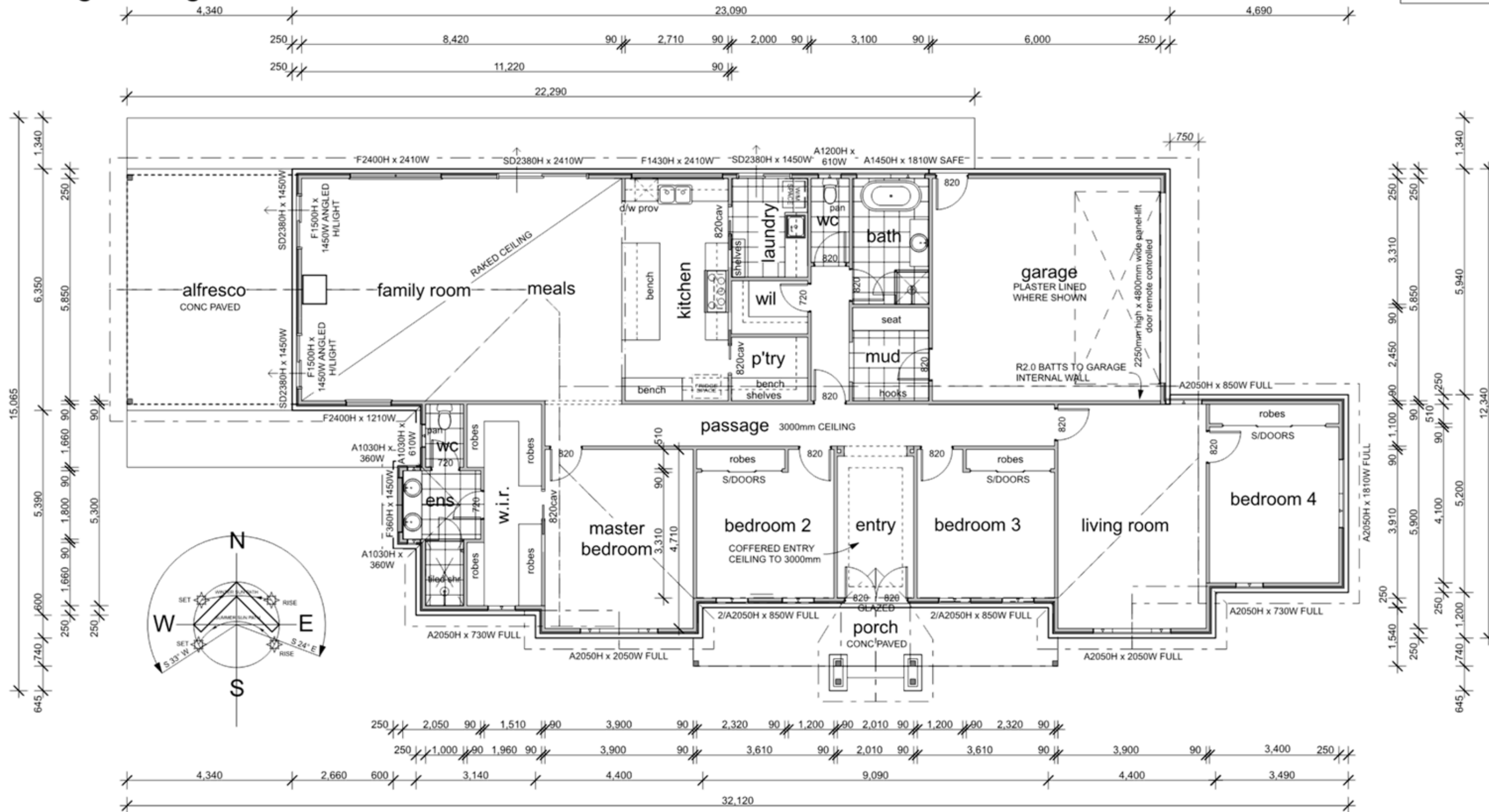


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Planning drawings

BAL-12.5



**Ground Floor Plan** SCALE:1:100

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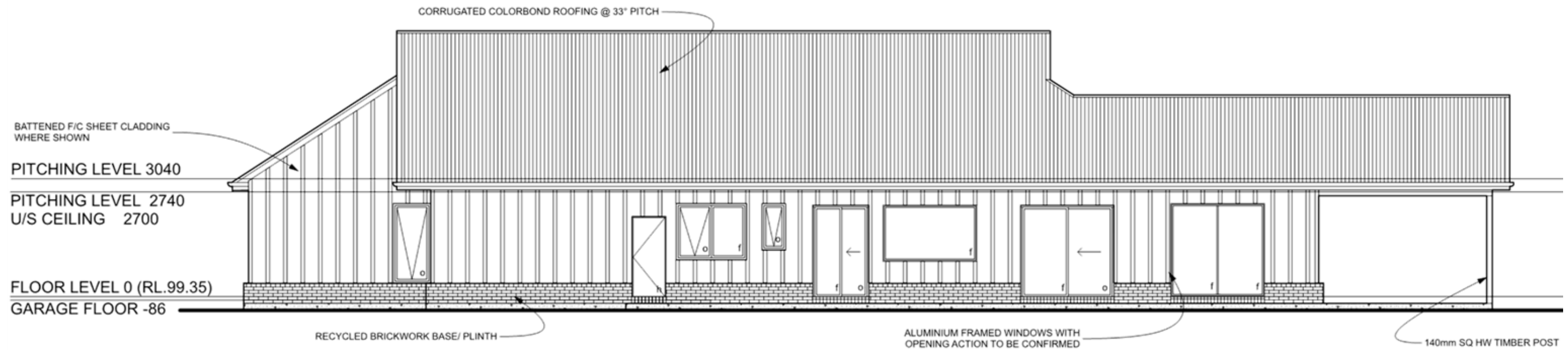
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	<p>SCALES: 1:100</p>	<p>DATE: 27-04-2022</p>		<p>SOIL: P</p>	<p>DRWG No. <b>22023</b> (OUR REF)</p>	

Planning drawings

**BAL-12.5**



**South Elevation** SCALE 1:100  
Front Elevation

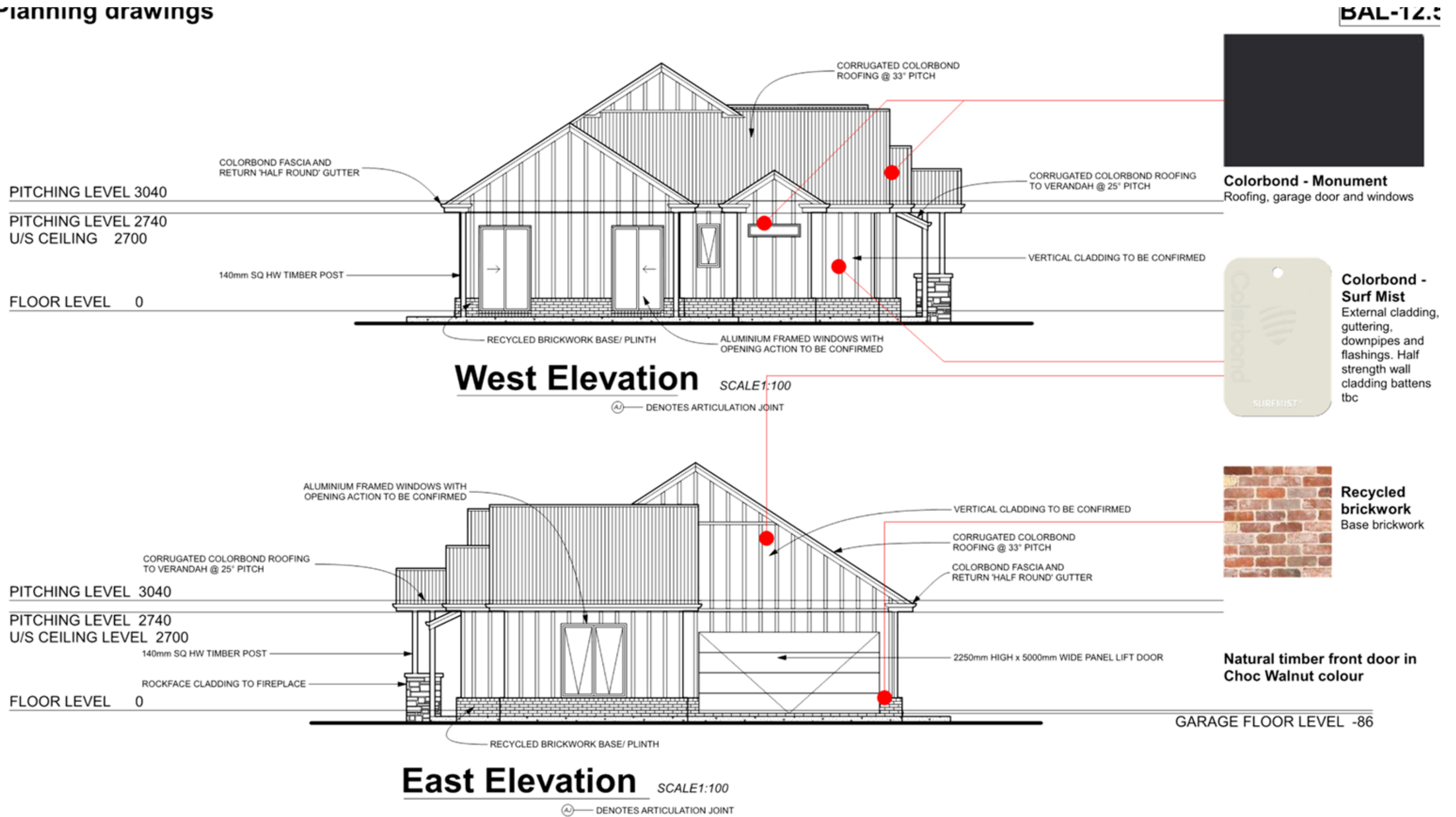


**North Elevation** SCALE 1:100  
DENOTES ARTICULATION JOINT

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 <p><b>Lee B De Jong</b> RESIDENTIAL DESIGN &amp; PLANNING DESIGN, DRAFTING &amp; TOWN PLANNING CONSULTATION</p> <p>p 03 5334 3463 m 0414 759 755 e ldejong39@gmail.com 11 Ningana Street, Alfredton, VIC 3350 Registered Building Practitioner DP-AD1792 Certified Energy Rater BDAV Member</p>	<p><b>PROPOSED NEW RESIDENCE AT 177 CORRIES LN, MOUNT EGERTON FOR J. SHERMAN &amp; R. SHERMAN</b></p>			 <p><b>STATUS</b> HOMES</p> <p>14A Neerim Cres. Mitchell Park, Vic, 3352. Ph. 03 5334 5054 Mob. 0419 106 901</p>	<p><b>SHEET DETAIL: ELEVATIONS</b></p>		<p>ORIGINAL SHEET SIZE: <b>A3</b></p>
	<p>SCALES: 1:100</p>	<p>DATE: 27-04-2022</p>	<p>SOIL: P</p>		<p>DRWG No. <b>22023</b> (OUR REF)</p>	<p>DATE: 21-12-22</p>	

Planning drawings

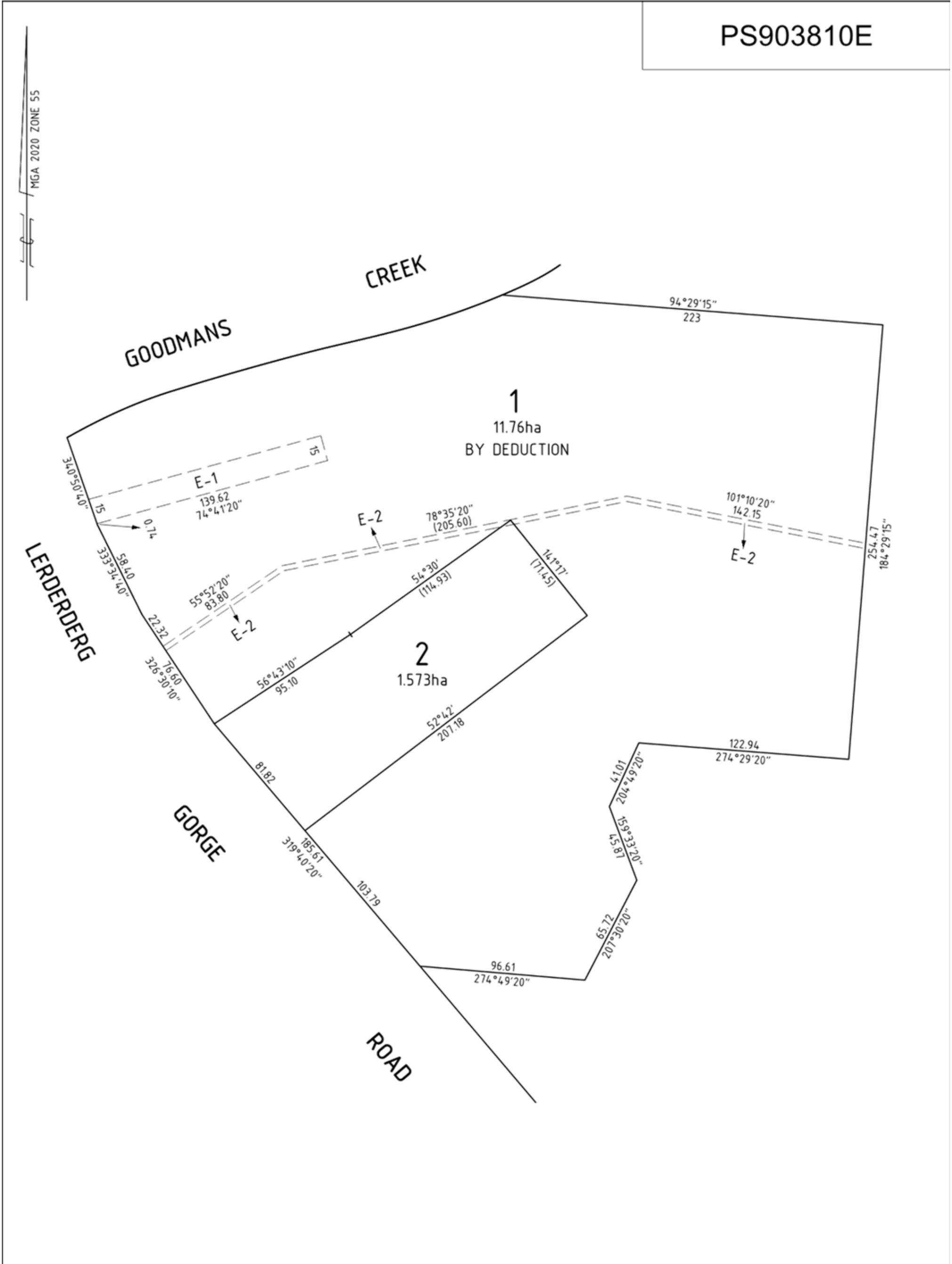



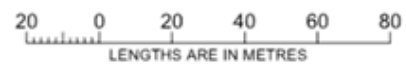
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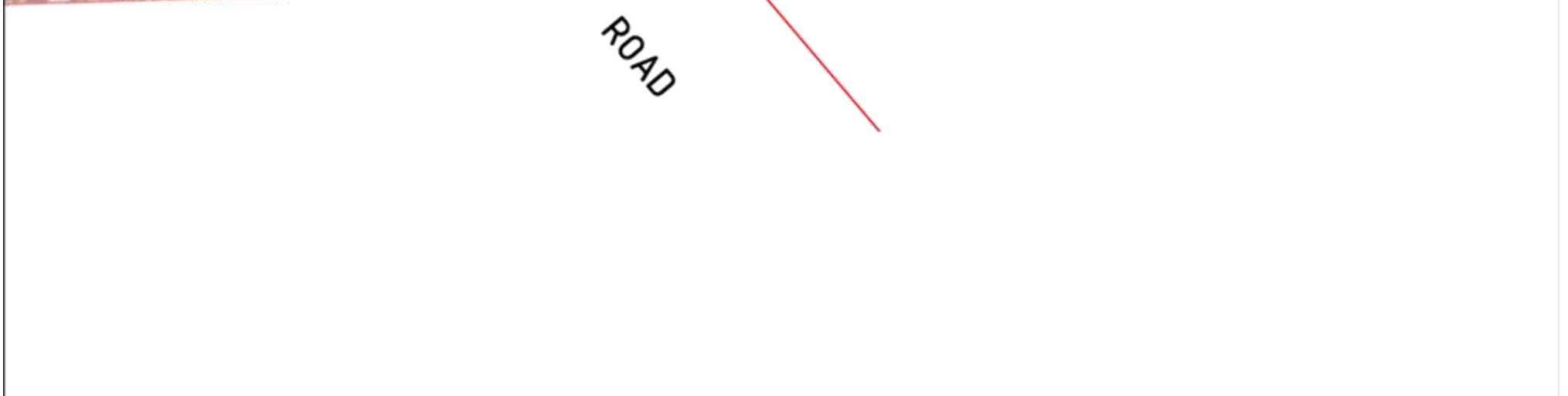
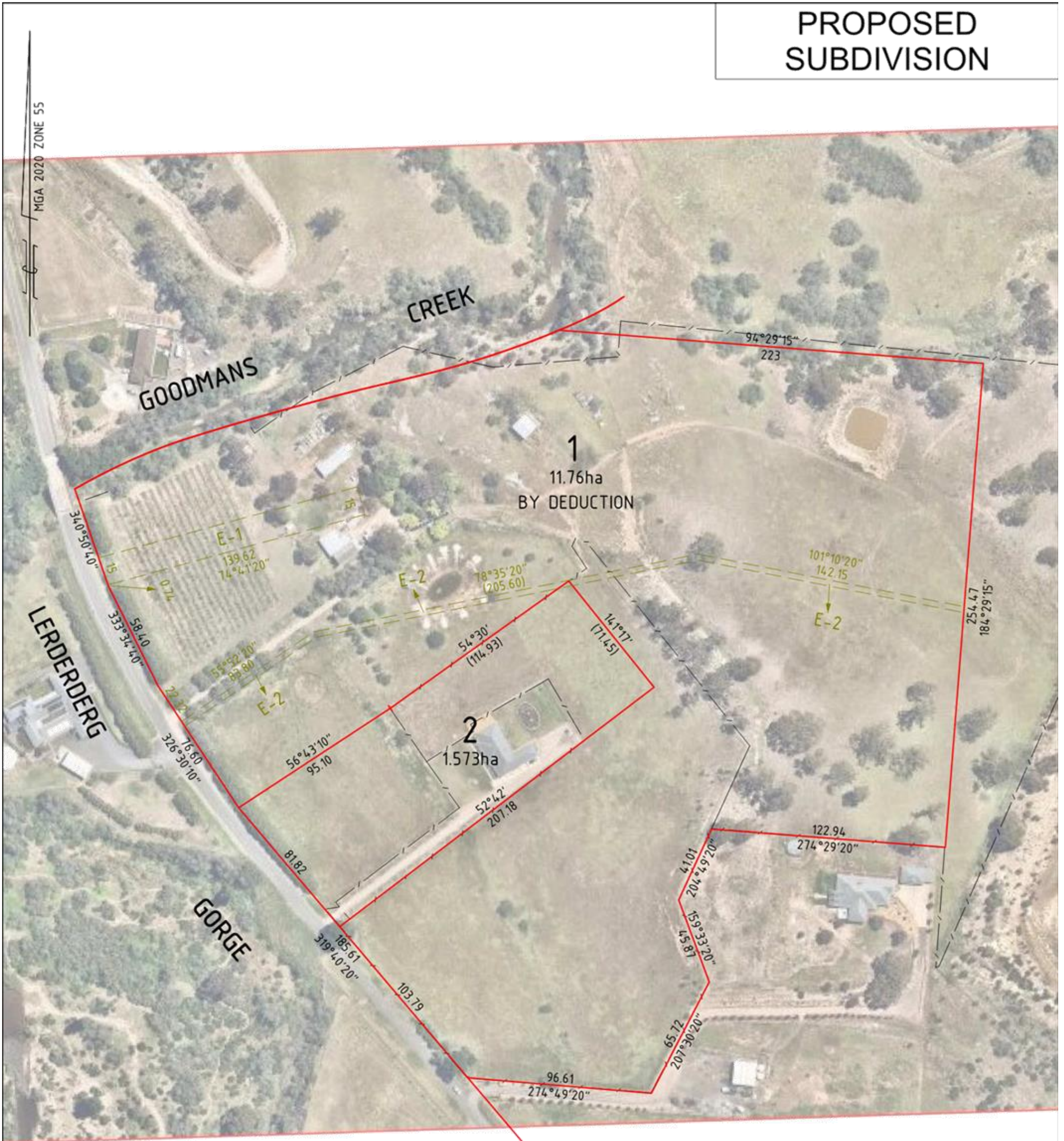



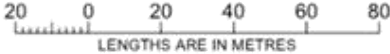
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 <b>Farren Group</b> Creating New Boundaries 74 Maribyrnong Street Footscray 3011 Phone 9689 1000 Fax 9689 1002 admin@farrengroup.com.au LAND SURVEYING - TOWN PLANNING - HYDROGRAPHIC MAPPING	SCALE 1:2000	 LENGTHS ARE IN METRES	REF: 12584 VERSION: 02	ORIGINAL SHEET SIZE: A3	SHEET 2
	LICENSED SURVEYOR: <u>PETER J. FARREN</u>				

# PROPOSED SUBDIVISION



 <b>Farren Group</b> Creating New Boundaries 74 Maribyrnong Street Footscray 3011 Phone 9689 1000 Fax 9689 1002 admin@farrengroup.com.au LAND SURVEYING - TOWN PLANNING - HYDROGRAPHIC MAPPING	SCALE 1:2000	 LENGTHS ARE IN METRES	REF: 12584 VERSION: 02	ORIGINAL SHEET SIZE: A3	SHEET 1
	LICENSED SURVEYOR: <u>PETER J. FARREN</u>				