



ATTACHMENTS

**Development Assessment Committee
Meeting
Under Separate Cover
Wednesday, 15 March 2023**

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7.1	PA2022189 - Development and Use of a Dwelling for a Goat Dairy Farm and Removal of Vegetation at Crown Allotment 1K on TP330797W, Boundary Road, Warrenheip	
	Attachment 1 Proposed Plans	3

E	
D	
C	
B	
A	

General Comments

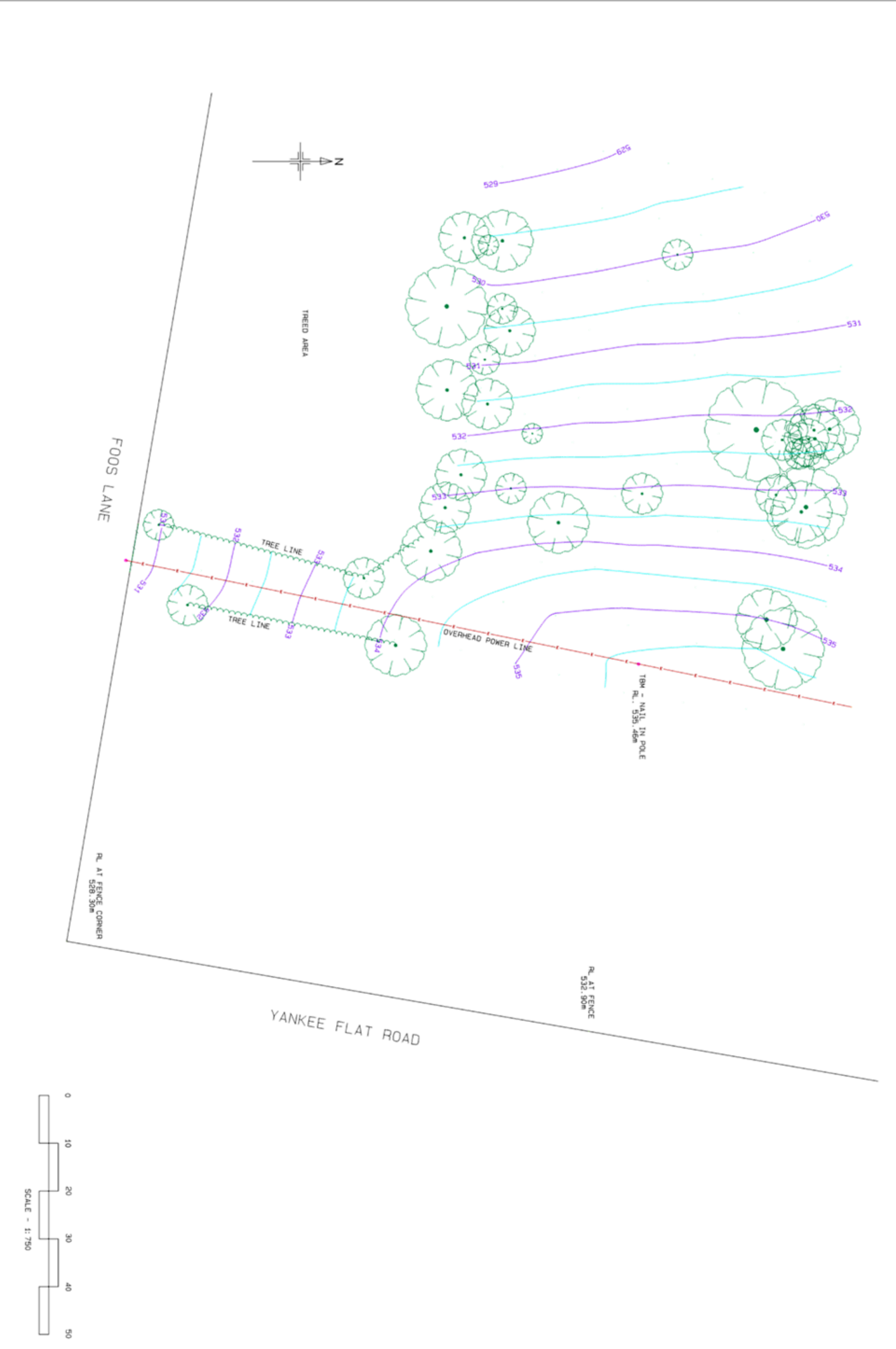
STATELINE SURVEYING
 20 KELLYS LANE SULKY 3352
 MOB. 0409 214 964
 PH/FAX. 03 53346724

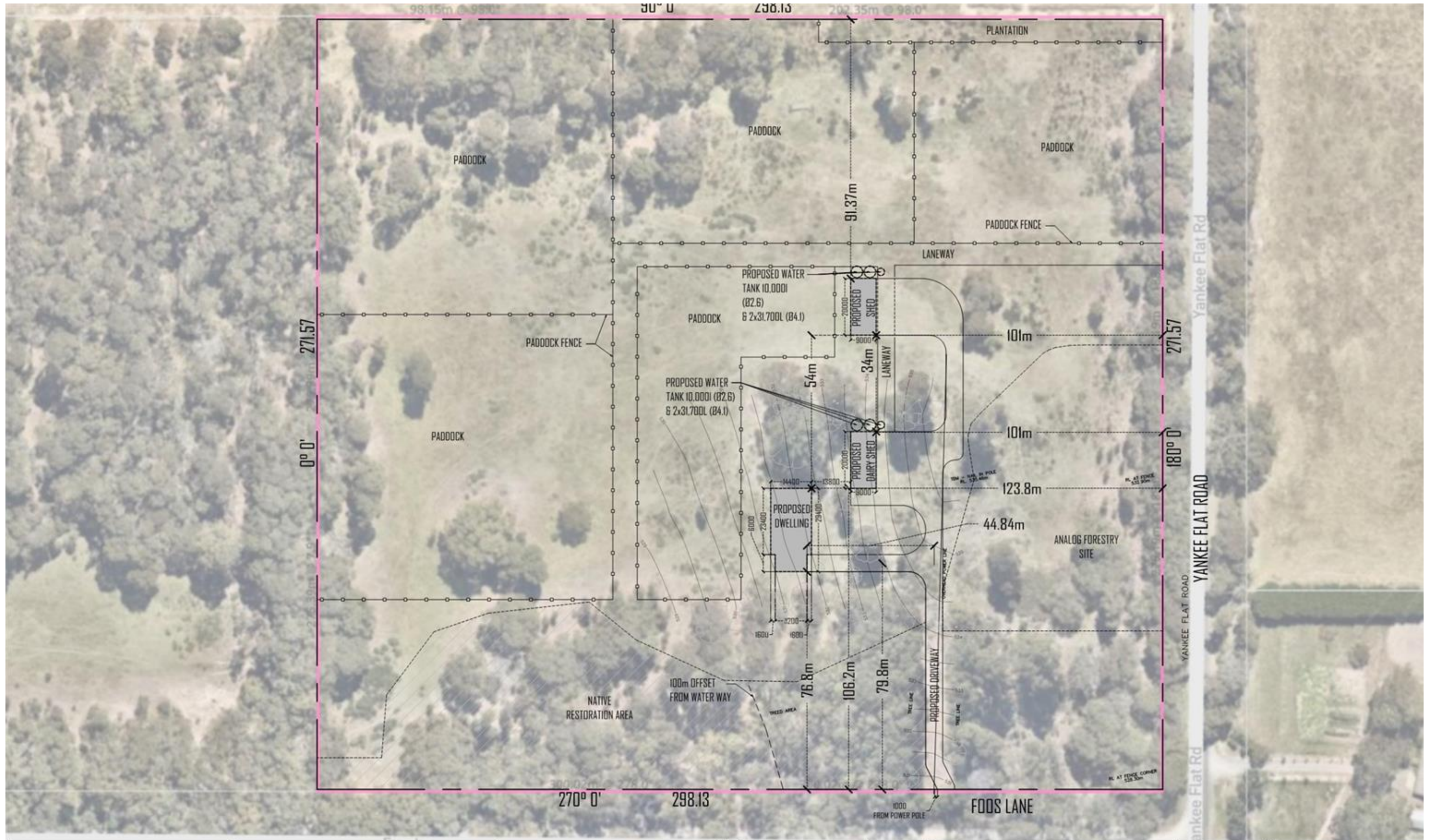
CLIENT

DAGMAR VAN DER LINDEN
 372 BOUNDARY RD
 WARRENHEIP, VIC, 3352

PROJECT

372 Boundary Road
 Area at Corner
 Foos Lane / Yankee Flat Rd
 Site Survey





OTL Consulting Group Pty Ltd

ON TAP LIQUOR CONSULTING

EDQ TOWN PLANNING

redline plans victoria

RED LINE PLANS VICTORIA

VENUE FLOOR PLANS, PATRON CAPACITY REPORTS, LANDSCAPE PLANS

UNIT 162, 116B INGLIS STREET, BALLAN, VICTORIA - 3342

TEL: (03) 5368 1881 / 43444450

Email: enquiries@otlconsultinggroup.com.au

CONCEPT ONLY

NOT FOR CONSTRUCTION

NOTES:

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2. All dimensions are in mm.
3. Any discrepancy in drawings and existing conditions should be brought to the notice of the architect prior to proceeding with the item

Rev	Description	Date
R8	Amendments as per FMP	23/11/2022
R7	Amendments as per FMP	14/11/2022
R6	Sketch Design	28/06/2022
R5	Sketch Design	14/06/2022
R4	Sketch Design	03/06/2022
R3	Sketch Design	18/05/2022
R2	Sketch Design	28/04/2022
R1	Sketch Design	22/04/2022

VAN DER LINDEN, DAGMAR

Client ID: 156996132

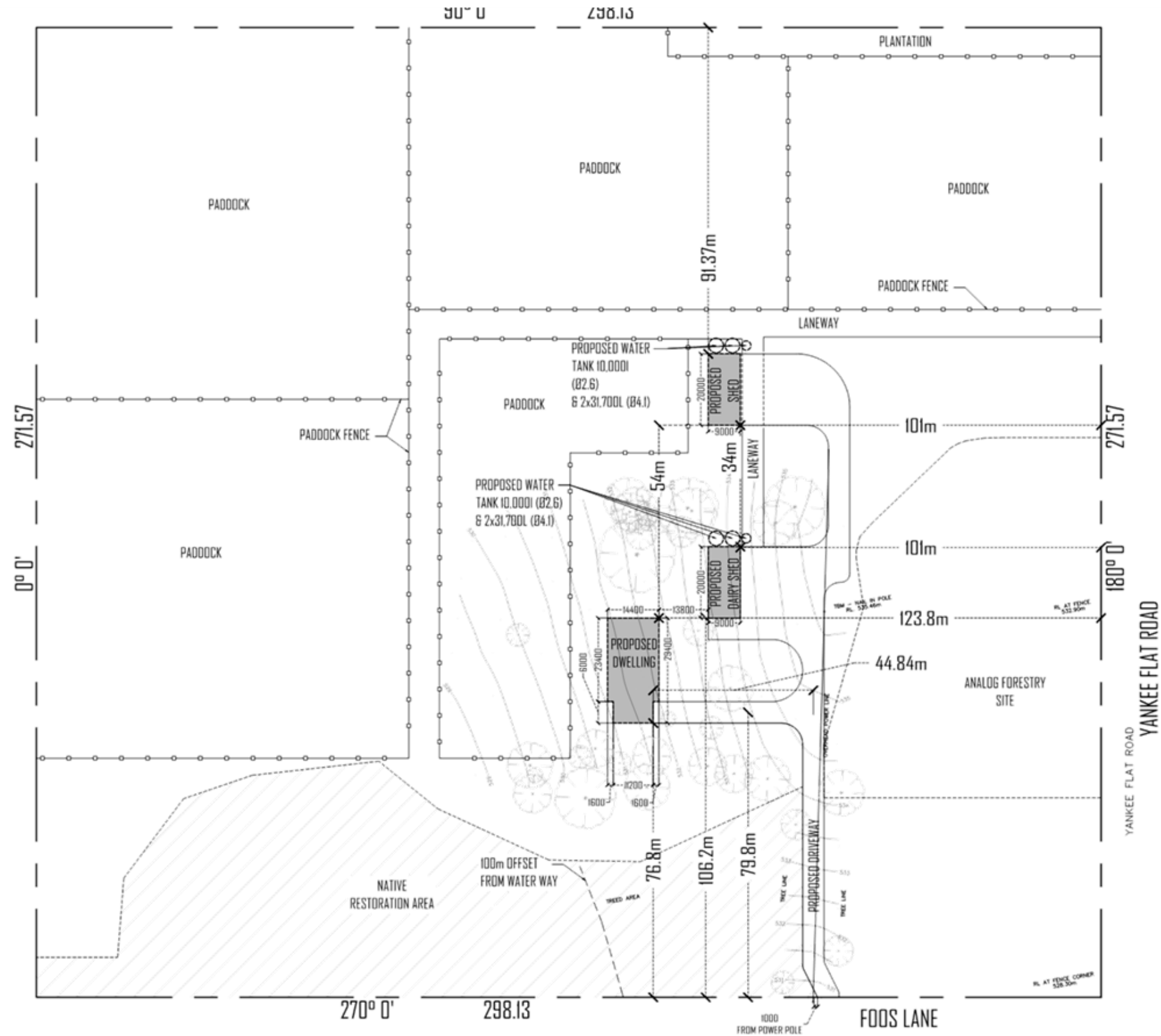
372 Boundary Road, Warrenheip, Victoria - 3352



SITE PLAN

Planning Application

Revision:	F
Drawing scale @ A3:	1:125
Date Plotted:	21/11/2022
Drawn by:	V



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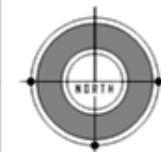
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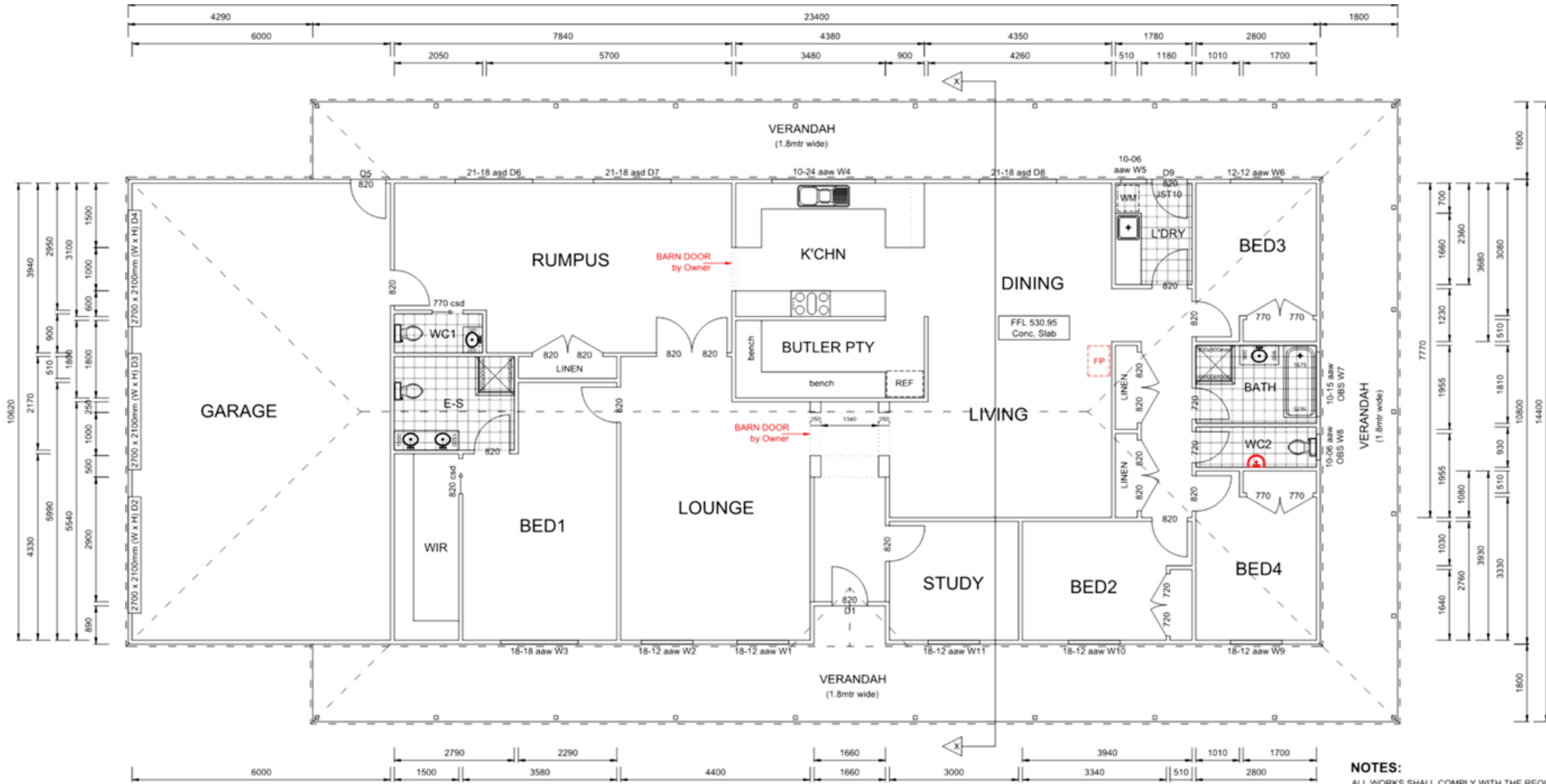
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Client ID: 156996132
 372 Boundary Road, Warrenheip, Victoria - 3352



SITE PLAN

Planning Application
 Revision: F
 Drawing scale @ A3: 1:125
 Date Plotted: 21/11/2022
 Drawn by: V



FLOOR PLAN

SCALE 1:100 @ A3

ENCLOSED AREA (to outside of external walls)	= 297.57 ²
TOTAL AREA (inc. verandahs and porches etc.)	= 409.21 ²
BAL	= TBA
SNOW LOAD	= N/A
WALL FRAMES	= TIMBER
All internal walls are 90mm thick timber	
All external walls are 90mm thick timber (unless otherwise noted)	
ROOF TRUSSES	= TIMBER
VERANDAH STRUCTURE	= TIMBER
WINDOW MANUFACTURER	= A&L (DG) VIC
SUB-FLOOR STUMPS	= N/A

ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF AS3959; BAL = TBA

DENOTES FLOOR TILING TO WET AREAS

NOTES:
 ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND ALL CODES REFERRED TO THEREIN. DESIGN WIND CATEGORY N3.
 THE BUILDER SHALL PROVIDE ALL FLASHINGS, WEEPHOLES, DPC's, CAPPINGS ETC THAT MAY BE REQUIRED BY THE BCA & TO MAKE THE ENTIRE WORKS WATERTIGHT. ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF THE BCA.
 PROVIDE WET AREA WATERPROOFING IN ACCORDANCE WITH PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA & AS 3740. PROVIDE AN IMPERVIOUS SUBSTRATE (I.E TILES) TO FLOORS WITHIN A MINIMUM 150mm OF AN UNENCLOSED SHOWER AND SAME TO WALLS AT 1800mm ABOVE SHOWER BASE & 150mm ABOVE BATH, SINKS, HASINS AND SPLASH BACKS IN ACCORDANCE WITH AS3740. ALL WATERPROOFING TO BE PROVIDED AND INSTALLED BY OTHERS.
 ALL DOORS AND WINDOWS SHALL BE INDICATED ON THE PLANS/ ELEVATIONS AS SCHEDULED
 asd DENOTES ALUMINIUM SLIDING DOOR
 aaw DENOTES ALUMINIUM AWNING WINDOW
 asw DENOTES ALUMINIUM SLIDING WINDOW
 csd DENOTES CAVITY SLIDING DOOR
 DG DENOTES DOUBLE GLAZING
 OBS DENOTES OBSCURE GLASS
 WHEN MAKING FLOOR FINISH SELECTIONS (CARPET, TILES, TIMBER ETC.) THE THICKNESS OF THE FLOOR FINISH WILL BE LIMITED AND THE OWNER/ BUILDER SHALL ENSURE THAT THE MINIMUM CEILING HEIGHT OF 2400mm (CLEAR) IS MAINTAINED TO ALL HABITABLE ROOMS.
 THE LAYOUT OF FIXTURES AND FITTINGS IN THE KITCHEN & WET AREAS IS TO

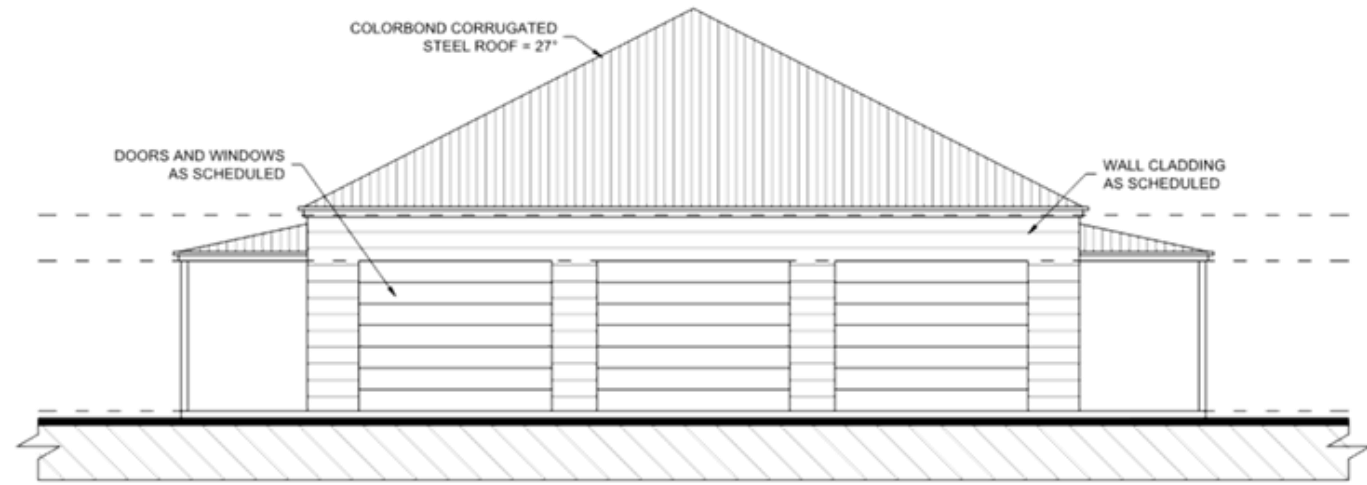


Client: Van Der Linden, Dagmar	Date: 2/2/22	Revision: PA1	Design: Homestead 39 (Modified)	Drawn By: .	Scale (if printed to A3 size): 1:100
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ELEVATIONS 1



East Elevation - Viewpoint A



South Elevation - Viewpoint C

NOTES:
 SURFACE LEVELS INDICATED ON THESE ELEVATIONS AND SECTIONS ARE BASED ON INFORMATION SUPPLIED BY THE CLIENT. THE OWNER/ BUILDER SHALL VERIFY THE ACCURACY OF THE LEVELS ON SITE & PRIOR TO MAKING APPLICATIONS OR PUTTING WORK IN HAND. SHOULD ANY DISCREPANCIES BE FOUND THE OWNER SHALL ADVISE KITOME IMMEDIATELY IN WRITING.

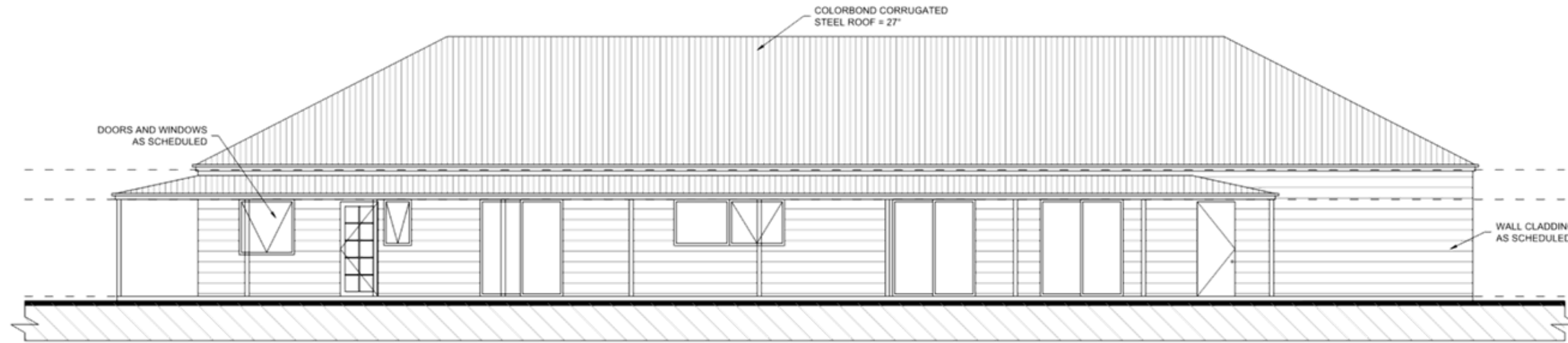
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EXTERNAL MATERIAL AND COLOUR SCHEDULE

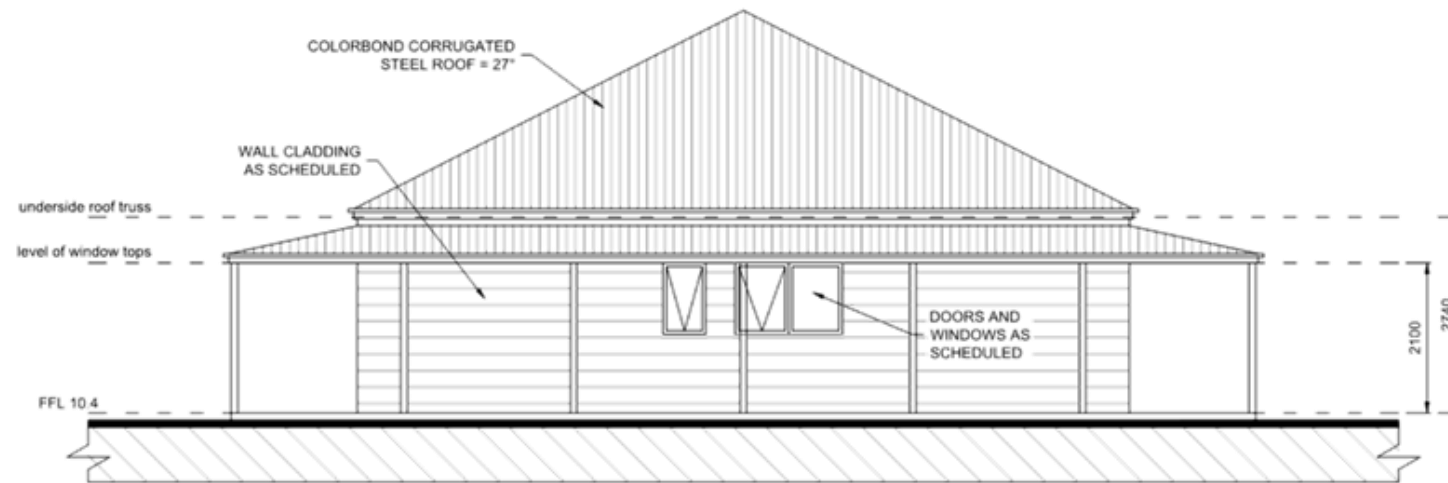
ELEMENT	MATERIAL	COLOUR
WALL CLADDING	HARDIEPLANK SMOOTH	EVENING HAZE
DOWNPIPES	COLORBOND STEEL	EVENING HAZE
EAVES GUTTERS	COLORBOND STEEL	SURFMIST
FASCIAS	COLORBOND STEEL	SURFMIST
ROOF SHEETING	COLORBOND CUSTOM ORB	WALLABY
POSTS	HW TIMBER	HW TIMBER
GARAGE DOORS	COLORBOND STEEL	SURFMIST
WINDOWS/ SLIDING DOORS	ALUMINIUM	SURFMIST

THE COLOURS INDICATED FOR THE NON PRE-FINISHED ELEMENTS (EG. TIMBER POSTS, WEATHERBOARD CLADDINGS) IN THIS SCHEDULE ARE TO BE VERIFIED ON SITE BY THE CLIENT. IF THERE ARE ANY CHANGES MADE TO PAINT COLOURS, THE OWNER SHALL OBTAIN APPROVAL FROM THE CERTIFYING AUTHORITY BEFORE PUTTING WORK IN HAND.

ELEVATIONS 2



West Elevation - Viewpoint B



North Elevation - Viewpoint D

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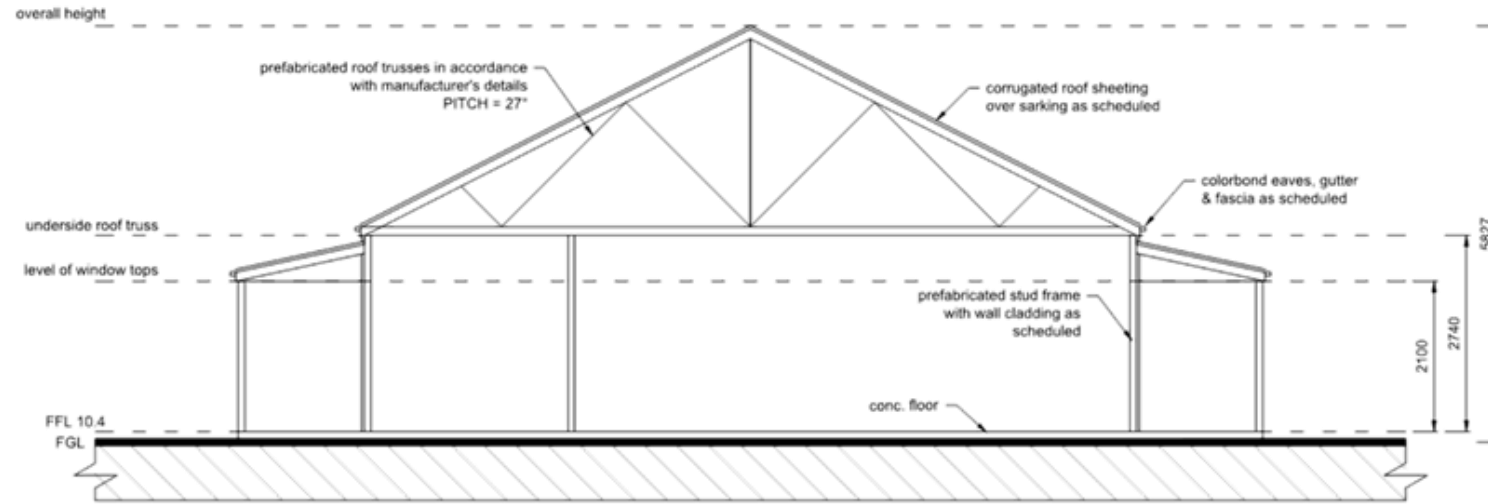
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EXTERNAL MATERIAL AND COLOUR SCHEDULE

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GARAGE DOORS	COLORBOND STEEL	SURFMIST
WINDOWS/ SLIDING DOORS	ALUMINIUM	SURFMIST

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SECTION

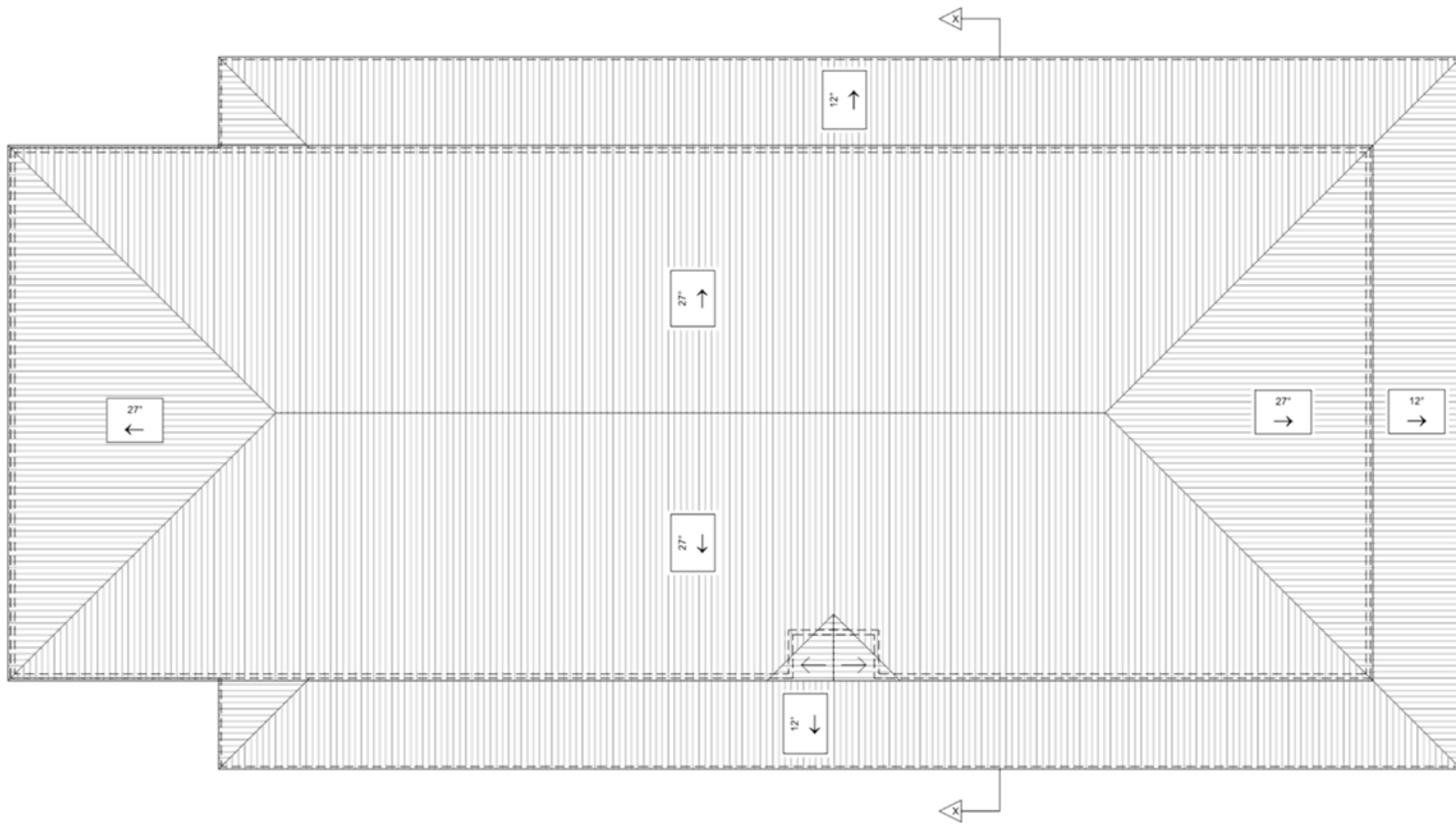


Section X - X

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ROOF PLAN

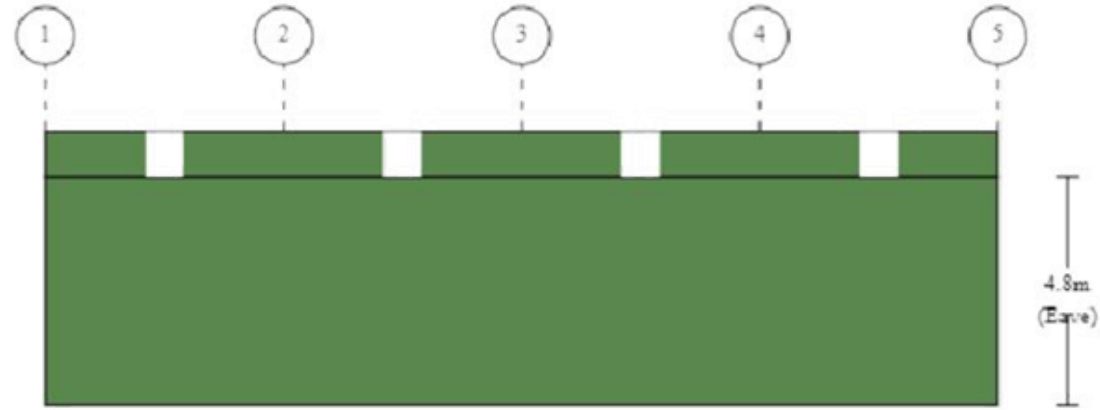


Materials Schedule:

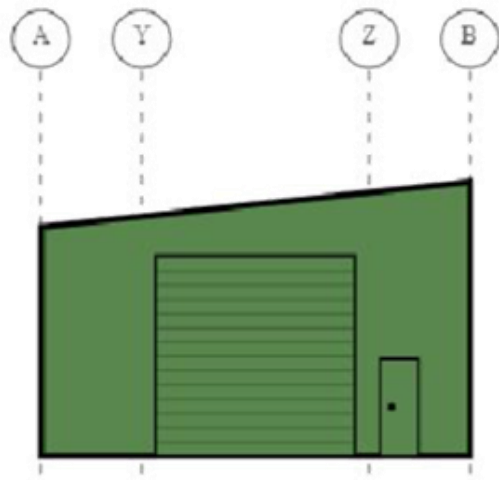


Colorbond Steel (Wallaby)
Roof & Wall Cladding

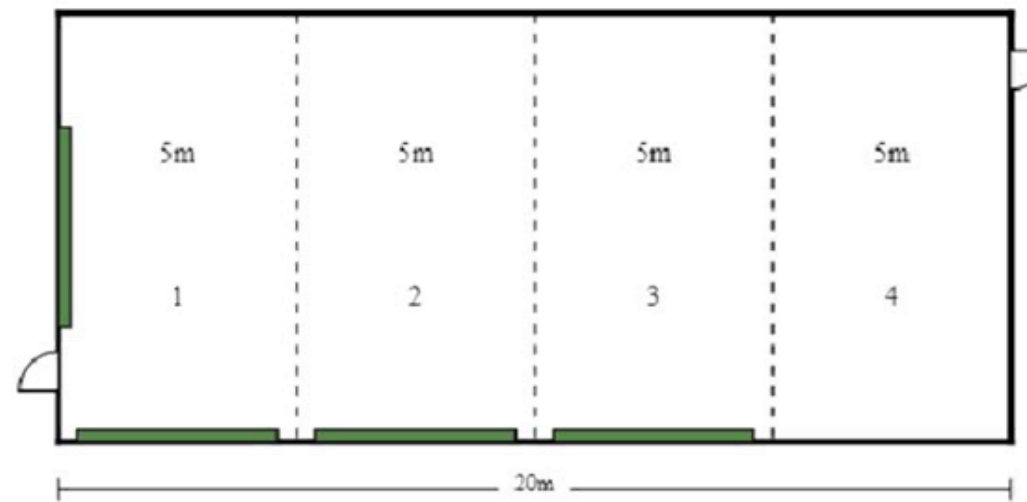
WALLABY®



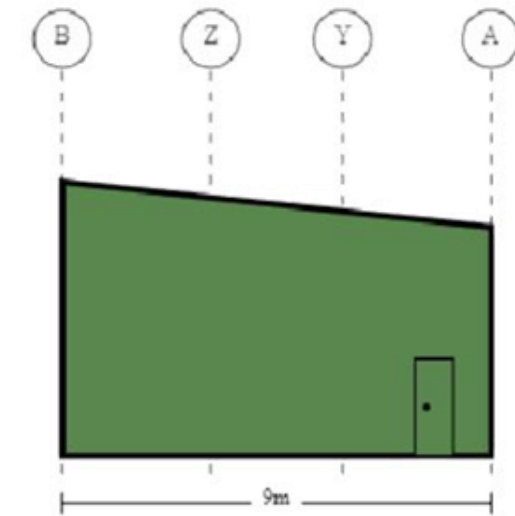
Left Side



Left End



Right Side



Right End



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R1
Rev

Sketch Design
Description

14/06/2022
Date

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SHED DRAWINGS

Planning Application
Revision:
Drawing scale @ A3: 1:15
Date Plotted: 14/06/2022
Drawn by: \