



ATTACHMENTS

**Development Assessment Committee
Meeting**

Under Separate Cover

Wednesday, 19 April 2023

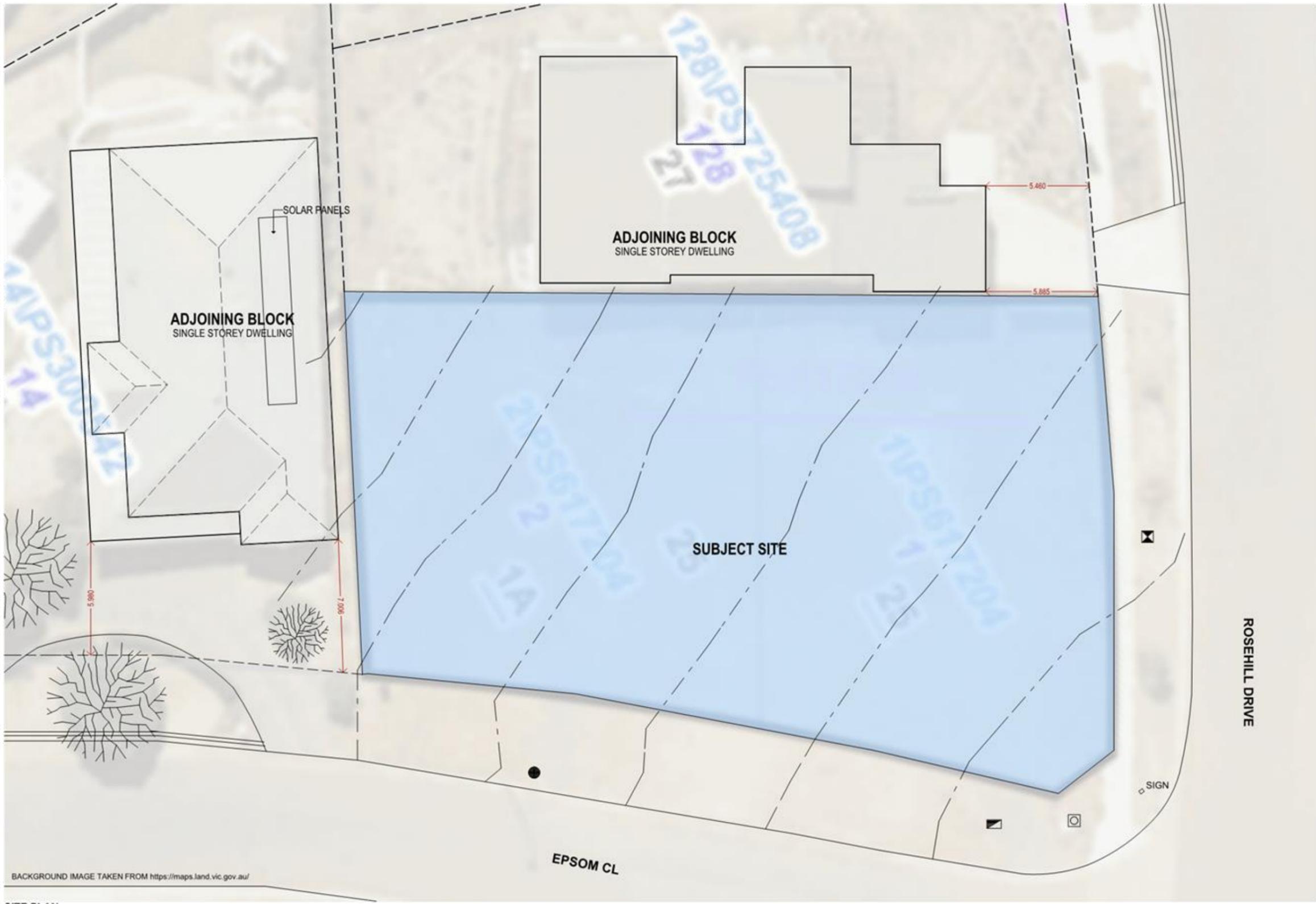
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7.4	PA2022090 - Use and Development for a Medical Centre (Dental Clinic) Display of Business Identification Signage including Floodlit and Internally Illuminated Signage and Alteration of Access to a Road in a Transport Zone 2 at 52-54 Gisborne Road, Bacchus Marsh	
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PROPOSED THREE UNIT DEVELOPMENT
No. 25 ROSEHILL DR, BACCHUSS MARCH

- NOTES:**
- ADJACENT OPEN SPACE TO BE PROTECTED FROM OVERLOOKING
 - SOLAR ACCESS TO ADJOINING OPEN SPACE TO BE PROTECTED
 - ADJOINING WINDOWS TO BE PROTECTED FROM OVERLOOKING

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11	T.P. DRAWINGS	23.12.2021	KT	NEW DESIGN
12	T.P. DRAWINGS	22.07.2022	KT	



LEGEND

- ☒ WATER HYDRANT
- ⊗ SEWER VENT / I.S.
- ☑ COMMUNICATIONS PIT
- 🌳 TREE
- 🚧 STREET SIGN
- ⊕ SEWER MANHOLE
- ⊖ ELECT. PIT
- ELEC. POLE
- 💡 STREET LAMP
- ⊠ WATER VALVE
- ✳ S/W PROPERTY INLET
- ⊕ GAS METER
- ⊕ WATER METER
- ☐ STORM WATER PIT
- W WINDOW
- ▲ TEMPORARY BENCHMARK (T.B.M.)

SUBJECT SITE

BUILDER
T.B.C

PO Box _____
 Tel: _____
 Mob: _____
 Email: _____

PROJ No : AA03

DO NOT SCALE THIS DRAWING FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDERS CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

PROPERTY OWNER: Rozel de los Reyes

SCALE: 1:200

PROJECT INITIATION: 18/07/2020 DRAWN BY: Kerri Terashima
 CHECKED BY: Rozel de los Reyes

SITE PLAN

PROJECT ADDRESS: **25 ROSEHILL DR, BACCHUSS MARCH** LAYOUT ID: **TP01**

BACKGROUND IMAGE TAKEN FROM <https://maps.land.vic.gov.au/>

PROPOSED THREE UNIT DEVELOPMENT
No. 25 ROSEHILL DR, BACCHUSS MARCH

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BUILDER
T.B.C

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PROPERTY OWNER: Rozel de los Reyes

SCALE: 1:200

PROJECT INITIATION: 18/07/2020 DRAWN BY: Kerli Terashima
 CHECKED BY: Rozel de los Reyes

EXISTING SITE CONDITION

PROJECT ADDRESS: **25 ROSEHILL DR, BACCHUSS MARCH** LAYOUT ID: **TP02**

BACKGROUND IMAGE TAKEN FROM <https://maps.land.vic.gov.au/>

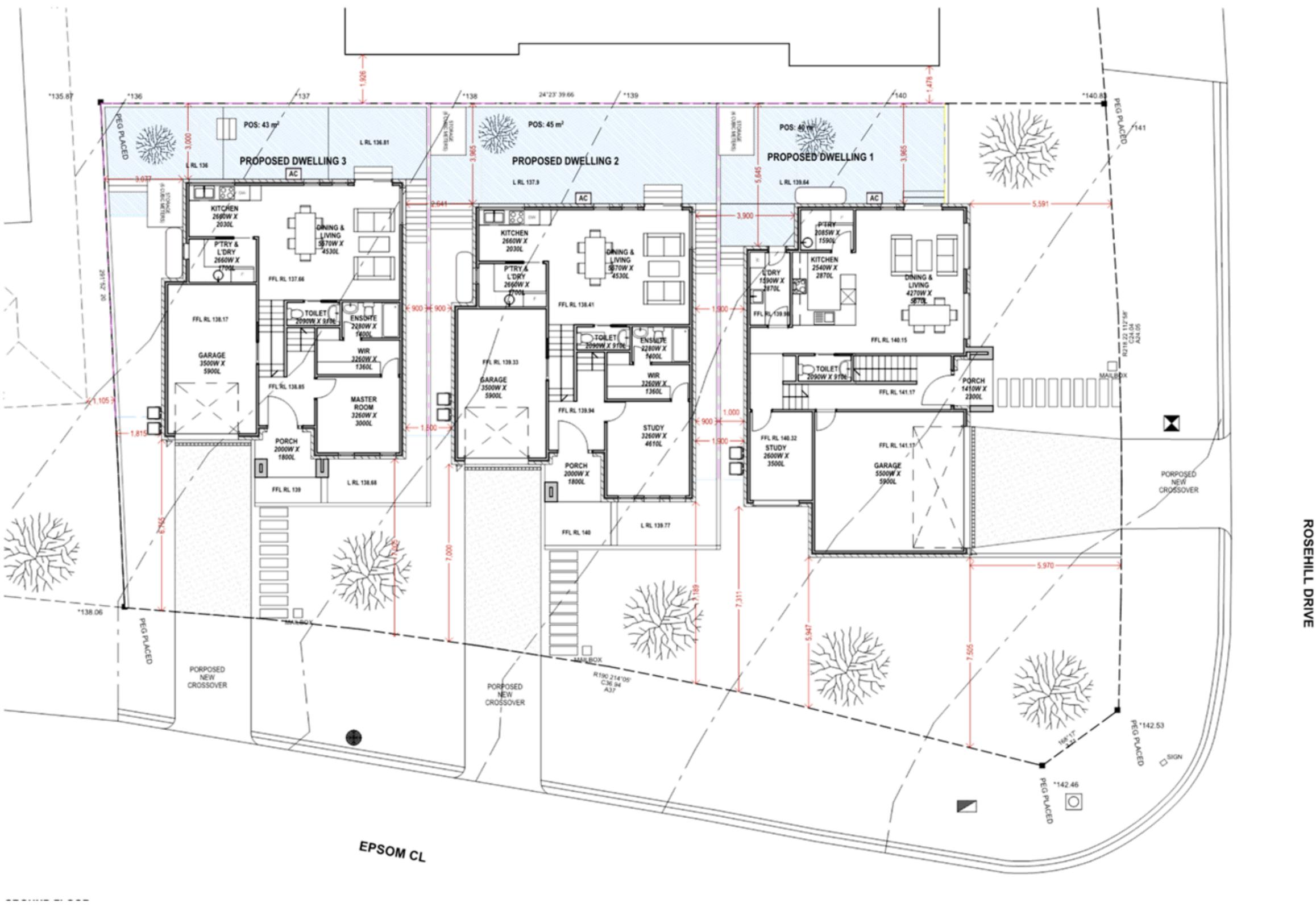
SITE ANALYSIS			SITE ANALYSIS		
	PROPOSED DWELLING AREA	DRIVE WAY	GROUND FLOOR AREA	m2	sq
Dwelling 1	389.90	25.00	118.00	900.00	96.88
Dwelling 2	253.80	22.00	105.00	325.00	34.98
Dwelling 3	256.30	21.00	102.00	68.00	7.32
TOTAL	900.00	68.00	325.00	393.00	42.30
				507.00	54.57
				44%	<i>(Below benchmark of 60% set in Res-Code)</i>
				56%	<i>(Above benchmark of 20% set in Res-Code)</i>

FENCE CONSTRUCTION

SIDE AND RAER BOUNDRY FENCING TO BE AS FOLLOWS:

- 1800mm EXISTING WOODEN FENCE
- 1800mm COLORBOND STEEL FENCE, POST, RAILS AND CAPS GREY RIDGE COLOUR
- 1200mm COLORBOND STEEL FENCE, POST, RAILS AND CAPS GREY RIDGE COLOUR

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LEGEND

- WATER HYDRANT
- SEWER VENT / I.S.
- COMMUNICATIONS PIT
- TREE
- STREET SIGN
- SEWER MANHOLE
- ELECT. PIT
- ELEC. POLE
- STREET LAMP
- WATER VALVE
- S/W PROPERTY INLET
- GAS METER
- WATER METER
- STORM WATER PIT
- WINDOW
- TEMPORARY BENCHMARK (T.B.M.)
- LIGHTING ON DRIVEWAYS

BUILDER
T.B.C

PO Box _____
Tel: _____
Mob: _____
Email: _____

PROJECT No: AA03

DO NOT SCALE THIS DRAWING FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDERS CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRI TO COMMENCEMENT OF WORKS.

PROPERTY OWNER: Rozel de los Reyes

SCALE: 1:150

PROJECT INITIATION: 18/07/2020 DRAWN BY: Kerij Terashima
CHECKED BY: Rozel de los Reyes

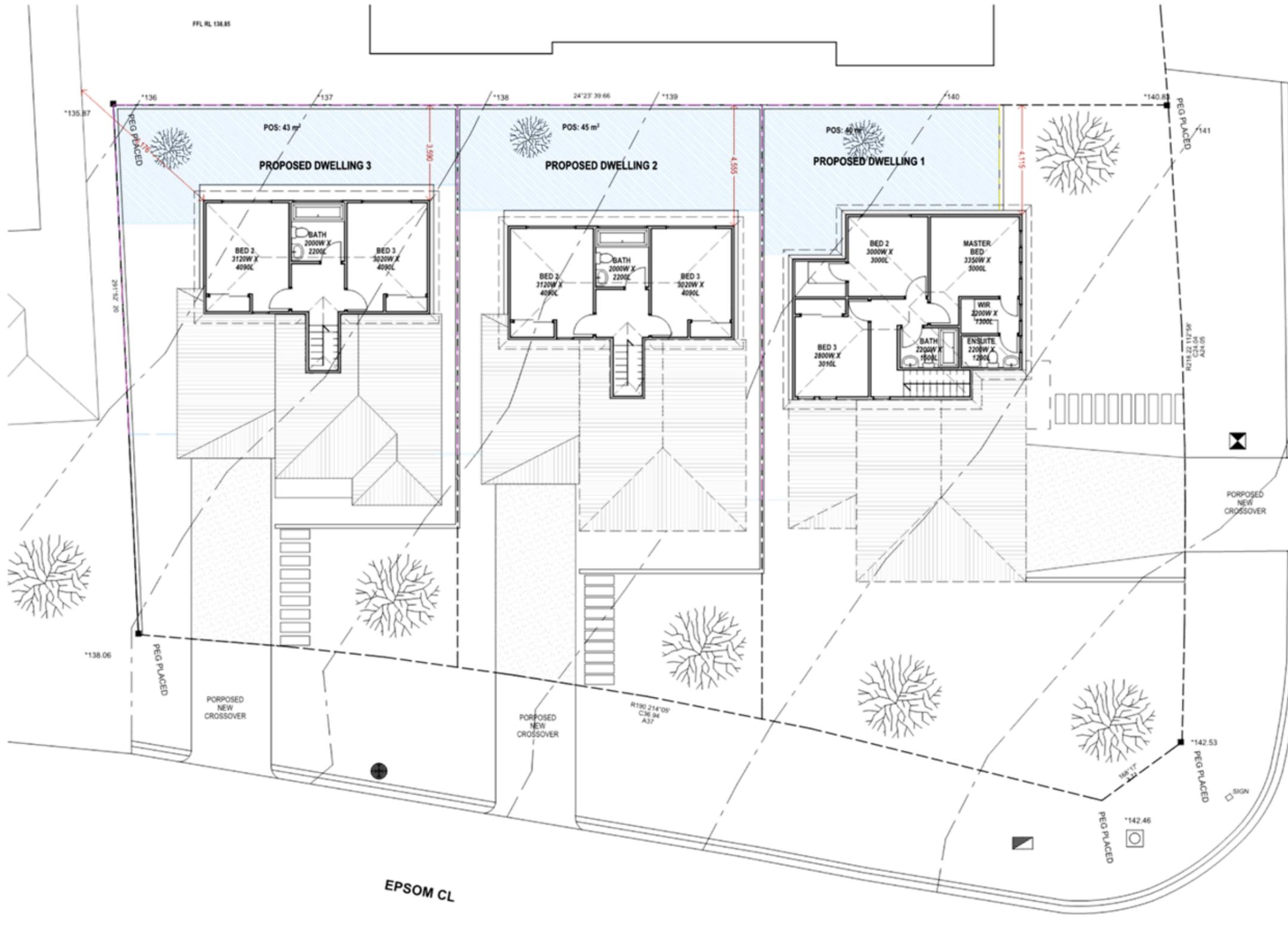
GROUND FLOOR

PROJECT ADDRESS: **25 ROSEHILL DR, BACCHUSS MARCH** LAYOUT ID: **TP03**

STRUCTURAL ENGINEERING

ONLY PARTIAL INFORMATION EXTRACTED FROM STRUCTURAL ENGINEERS PLANS IS SHOWN WITHIN THESE PLANS, EG. FLOOR & ROOF BEAMS, COLUMNS AND LINTELS WHICH REQUIRE COLUMNS. THIS INFORMATION IS INDICATIVE ONLY. IT IS ESSENTIAL THAT THE BUILDER AND ASSOCIATED CONTRACTORS REFER TO THE STRUCTURAL ENGINEERING PLANS IN FULL TO DETERMINE ALL REQUIRED STRUCTURAL ELEMENTS WITHIN THIS PROJECT.

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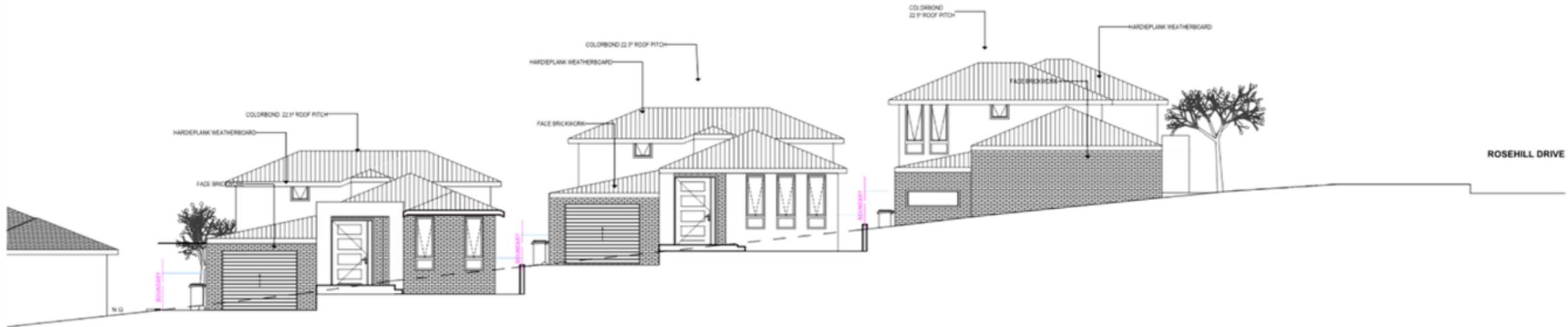
DRAWN BY: Karli Terashima
CHECKED BY: Rozel de los Reyes

FIRST FLOOR

PROJECT ADDRESS: 25 ROSEHILL DR, BACCHUSS MARCH

LAYOUT ID: TP04

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EAST ELEVATION

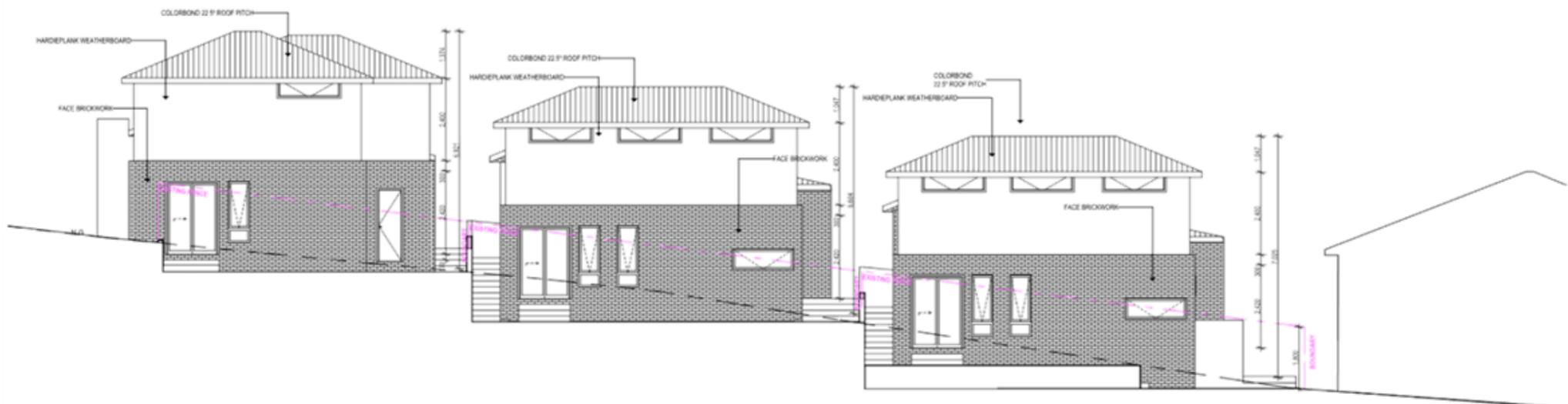


NORTH ELEVATION

SOUTH ELEVATION

MATERIAL SCHEDULE

-  COLORBOND ROOF
-  METAL FASCIA / GUTTERS / DOWNPIPES / METER BOX / WINDOWS FRAMES, COLORBOND MONUMENT
-  HARDIEPLANK WEATHERBOARD COLOUR TBC
-  HARDIEPLANK WEATHERBOARD COLOUR TBC
-  PGH BRICKS MOCHA LOT 1 & 3
-  SELKIRK CLOUD BURST BRICKS LOT 2



WEST ELEVATION

BUILDER
T.B.C

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Email: _____

PROJECT No: AA03

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PROPERTY OWNER: Rozel de los Reyes

SCALE: 1:150

PROJECT INITIATION: 18/07/2020 DRAWN BY: Kerij Terashima
CHECKED BY: Rozel de los Reyes

ELEVATIONS

PROJECT ADDRESS: 25 ROSEHILL DR, BACCHUSS MARCH LAYOUT ID: TP05

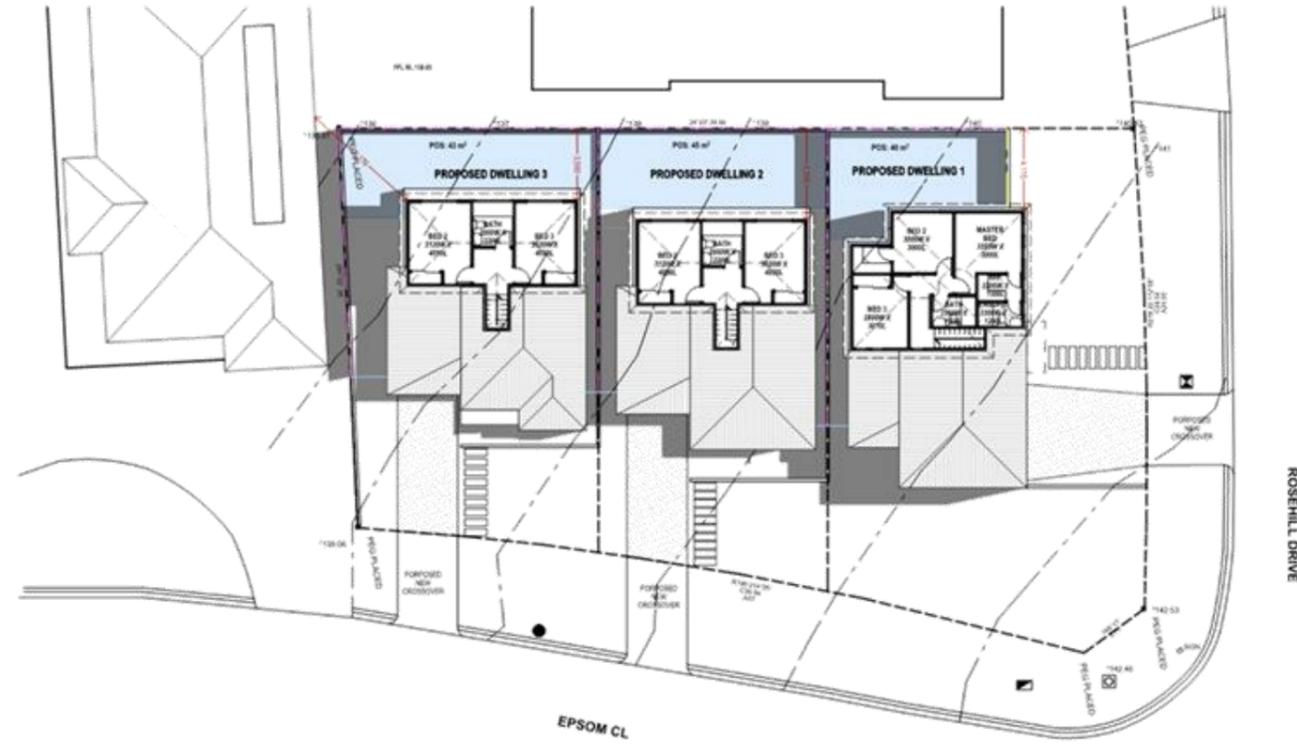
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SEPTEMBER 22nd SHADOW DIAGRAM @ 9am



SEPTEMBER 22nd SHADOW DIAGRAM @ 12pm

BUILDER T.B.C	
PO Box _____	
Tel: _____	
Mob: _____	
Email: _____	
PROJ No : AA03	
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PROPERTY OWNER: Rozel de los Reyes	
SCALE: 1:200	
PROJECT INITIATION: 18/07/2020	DRAWN BY: Kerri Terashima
	CHECKED BY: Rozel de los Reyes
SUN STUDY	
PROJECT ADDRESS: 25 ROSEHILL DR, BACCHUSS MARCH	LAYOUT ID: TP06

STORMWATER AND DRAINAGE

REFER TO ARCHITECTURAL AND ENGINEERING PLANS FOR STORMWATER AND DRAINAGE PIT LOCATIONS ALL PAVED AREAS IN REAR GARDENS TO HAVE A GRADE OF 2.5% MINIMUM, AWAY FROM BUILDINGS.

ALL GRADES, LEVELS AND DRAINAGE TO COMPLY WITH RELEVANT BUILDING CODES AND COUNCIL PLANNING REQUIREMENTS

SERVICES

CONTRACTORS ARE TO DETERMINE THE LOCATION OF ALL UNDERGROUND AND OVERHEAD SERVICES PRIOR TO CONSTRUCTION.

FENCE CONSTRUCTION

SIDE AND REAR BOUNDRY FENCING TO BE AS FOLLOWS:

- 1800mm EXISTING WOODEN FENCE
- 1800mm COLORBOND STEEL FENCE, POST, RAILS AND CAPS GREY RIDGE COLOUR
- 1200mm COLORBOND STEEL FENCE, POST, RAILS AND CAPS GREY RIDGE COLOUR

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LEGEND

- TOPSOIL & MULCHED AREA FOR PLANTING
- SEED GRASS AREA



ROSEHILL DRIVE

EPSOM CL

LANDSCAPE PLAN

BUILDER
T.B.C

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Tel: _____
Mob: _____
Email: _____

PROJ No : AA03

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PROPERTY OWNER: Rozel de los Reyes

SCALE: 1:150

PROJECT INITIATION: 18/07/2020

DRAWN BY: Kerri Terashima
CHECKED BY: Rozel de los Reyes

LANDSCAPE PLAN

PROJECT ADDRESS: 25 ROSEHILL DR, BACCHUSS MARCH

LAYOUT ID: TP07

GARDEN AREA		
	m2	sq
LAND AREA	900.00	96.88
GARDEN AREA	430.00	46.28
GARDEN PERCENTAGE (REQUIRED MINIMUM GARDEN AREA ABOVE 35%)		48%

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LEGEND

GARDEN AREA



ROSEHILL DRIVE

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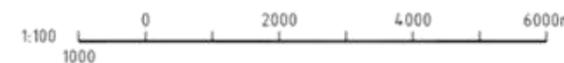
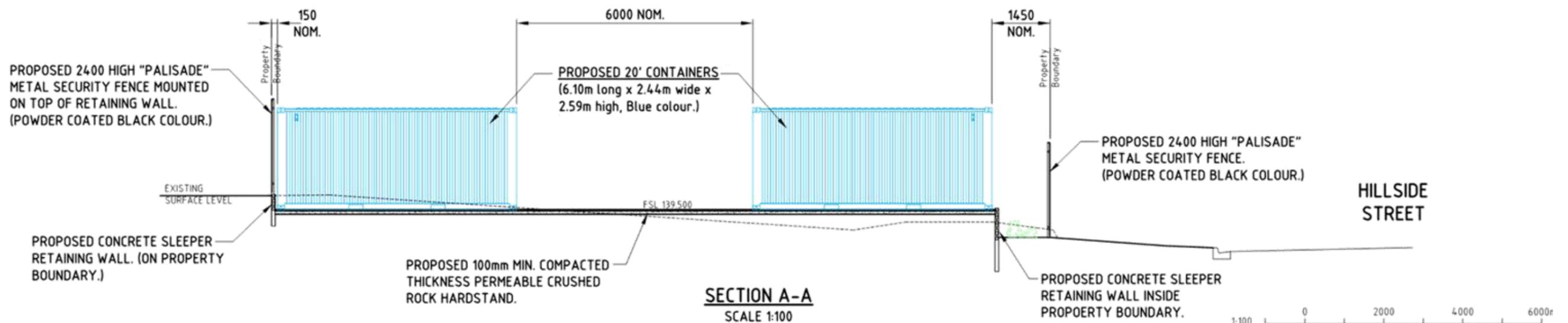
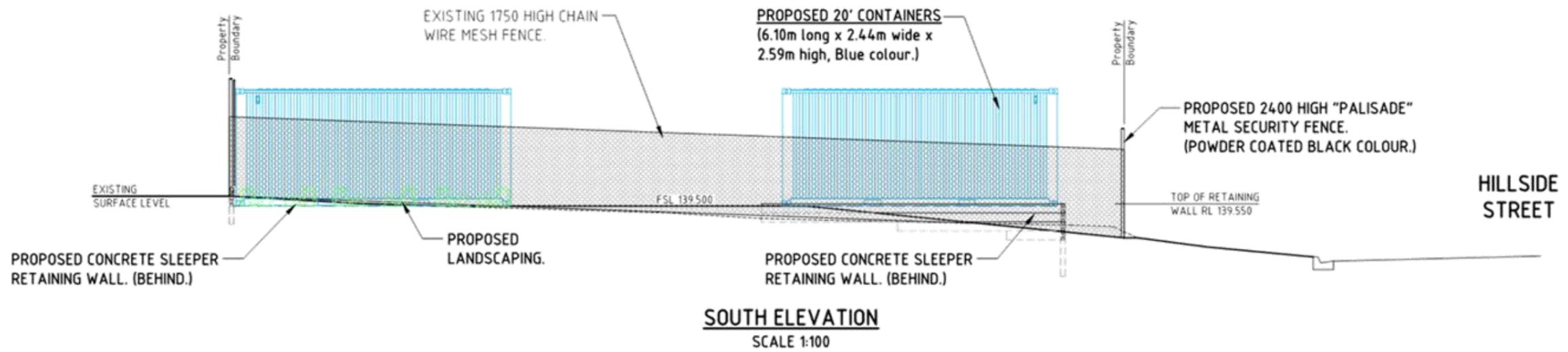
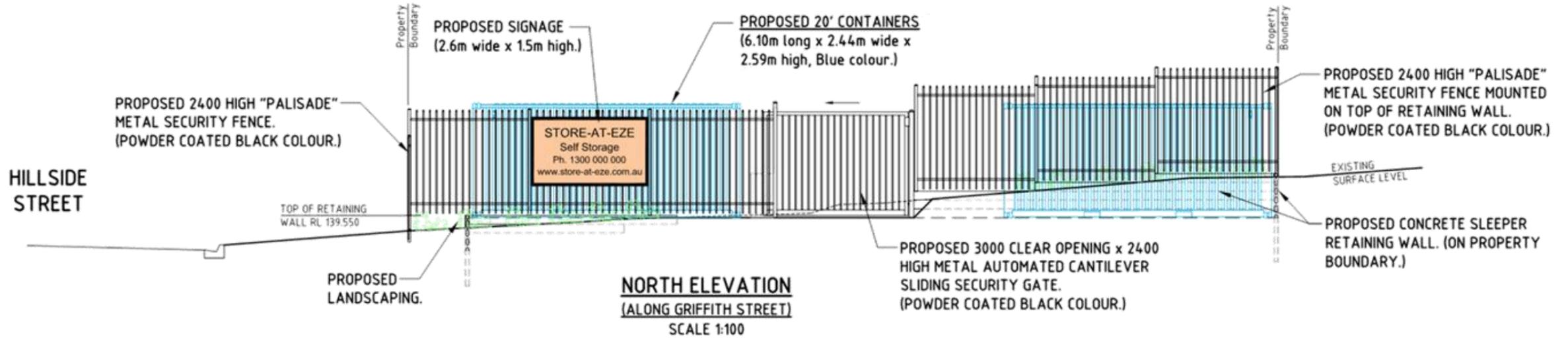
SCALE: 1:150

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CHECKED BY: Rozel de los Reyes

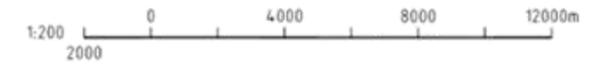
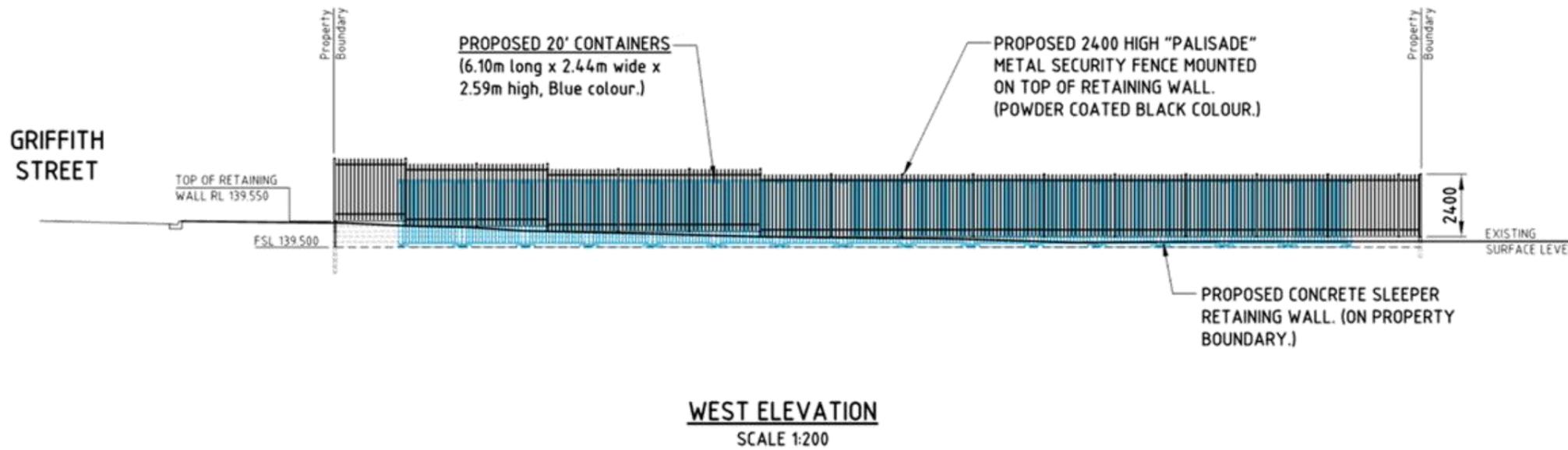
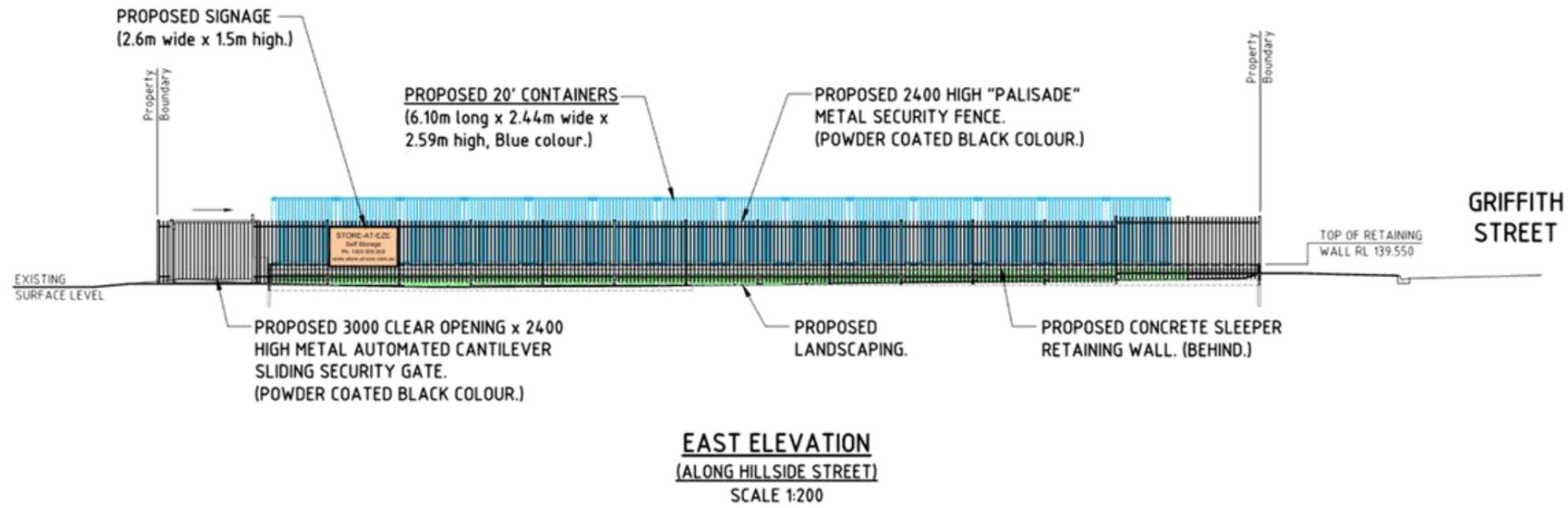
GARDEN AREA

PROJECT ADDRESS: **25 ROSEHILL DR, BACCHUSS MARCH** LAYOUT ID: **TP08**

GARDEN AREA



T. SCALE - 11 B A	REVISD TO INCORPORATE COUNCIL COMMENTS 6/12/22	COPYRIGHT The concepts and information contained in this document are the copyright of C T Drafting Pty. Ltd. Use or copying of the document in whole or in part without the written permission of C T Drafting Pty. Ltd. constitutes an infringement of copyright.	CT DRAFTING PTY. LTD. DESIGN DRAFTING SERVICE A.B.N. 83 130 785 152 3 Allan Drive, Darley, Victoria, 3340 Mobile: 0419 505 845 Email: c.lancaster@inet.net.au	CLIENT RUFFO & RUFFO PTY. LTD. PROJECT PROPOSED STORAGE FACILITY 47 GRIFFITH STREET, MADDINGLEY, VIC. 3340	TITLE PROPOSED STORAGE FACILITY ELEVATIONS SHEET 2 OF 2 DRAWING NO. TP-004 AMGT B
	ISSUED FOR APPROVAL 26/09/22			DRAWN CKL DESIGNED CKL SCALE AS SHOWN	
	DATE			DATE	



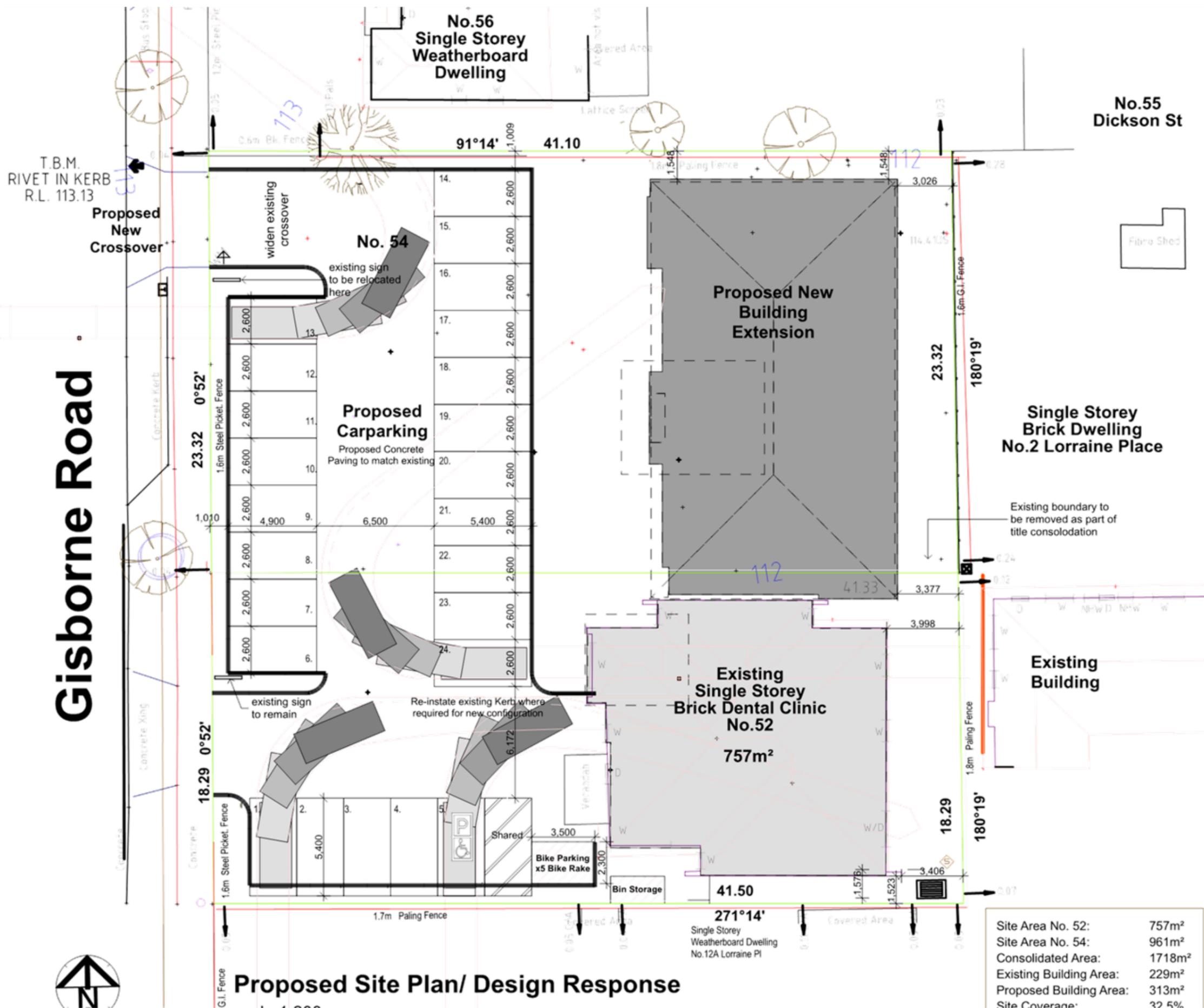
T. SCALE - 1:1		
B	REVISED TO INCORPORATE COUNCIL COMMENTS	6/12/22
A	ISSUED FOR APPROVAL	26/09/22

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Darley, Victoria, 3340
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Email: c.lancaster@inet.net.au

CLIENT RUFFO & RUFFO PTY. LTD.
PROJECT PROPOSED STORAGE FACILITY
47 GRIFFITH STREET,
MADDINGLEY, VIC. 3340
DRAWN CKL | **DESIGNED** CKL | **SCALE** AS SHOWN

TITLE PROPOSED STORAGE FACILITY
ELEVATIONS
SHEET 1 OF 2
DRAWING NO. TP-003 | **AMGT** B



NOTES:

REVISIONS		
NO.	DATE	DESCRIPTION
A	30/6/22	turning diagrams shown carparking dimensions added

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TOTAL BUILDING

Thomco Investments Pty Limited trading as
Total Building Developments & Design
 219 Main Street, Bacchus Marsh, VIC 3340
 Phone: (03) 5367 1222
 www.totalbuilding.com.au

Contract Note:

Signed _____ Date: _____
 Builder: _____ Date: _____
 Owner/ Agent: _____ Date: _____

CLIENT
BM Dental House

JOB ADDRESS
**54 Gisborne Rd
 Bacchus Marsh**

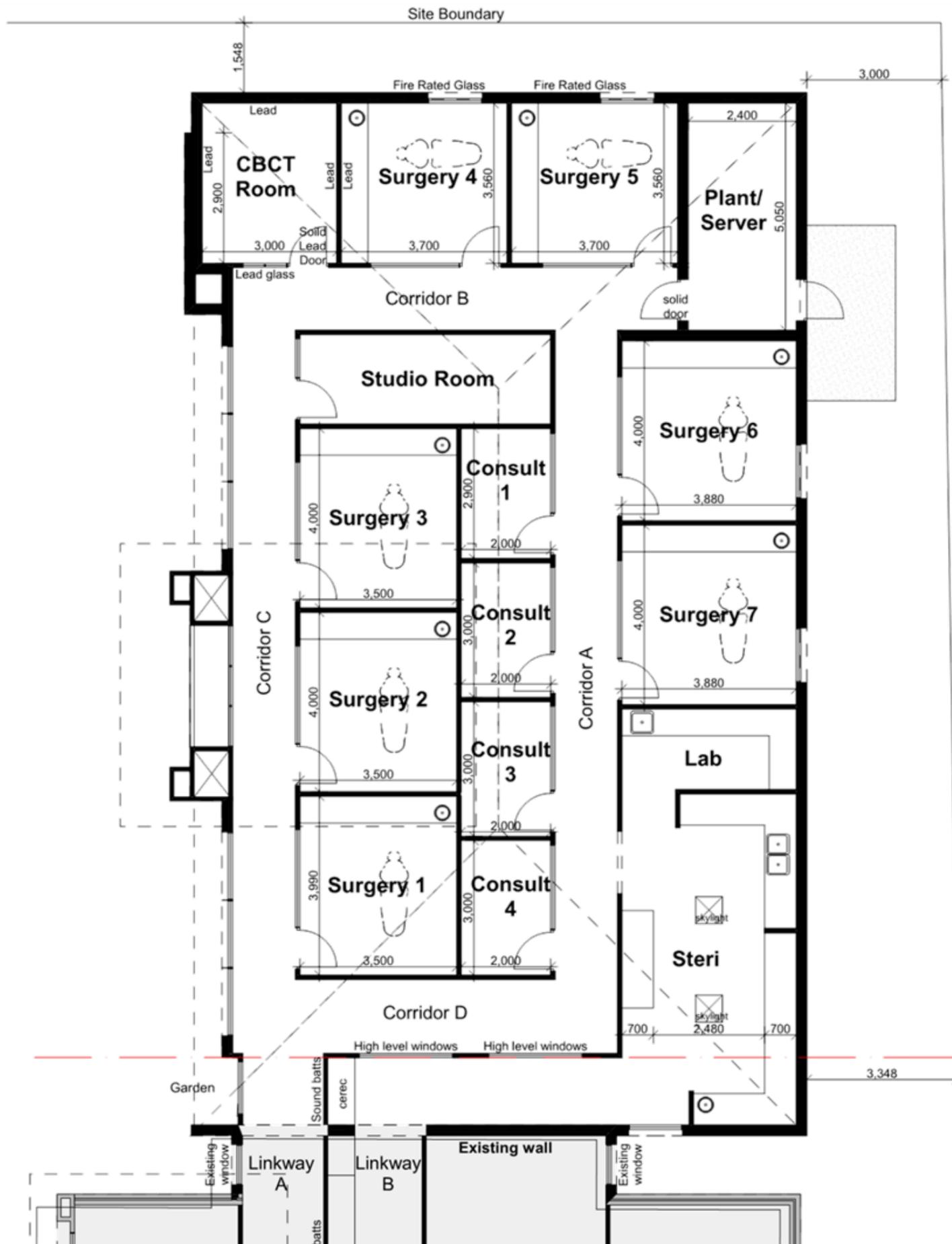
DRAWING TITLE
Design Response

DWG No.
TP03

DATE **24/8/2022** REV. No. **A**

SCALE **1:200** SHEET No. **3**
Plans to scale at A3

REF No. **21006**



External Finishes / Colour

Face Brickwork	Advance Bricks-'Raven' or similar
Concrete Roof Tiles	Alice Roof Tiles 'Nova Rhino' -Stuart
Fascia & Gutter	Colourbond 'Monument Colour
Matrix Cladding	Paint Finish Haymes ' Purple Shade
Aluminium Window Frames	Silver Pearl finish

Carparking Calculation

Practitioner 1	5
Practitioner 2	3
Practitioner 3	3
Practitioner 4	3
Practitioner 5	3
Practitioner 6	3
Practitioner 7	3
Total	23

Proposed Floor Plan
scale 1:100

Area:

Existing Building	229.0m ²
Proposed Building	312.5m ²

No. Practitioners Req. 7

NOTES:

REVISIONS

NO.	DATE	DESCRIPTION

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219 Main Street, Bacchus Marsh, VIC 3340
Phone: (03) 5367 1222
www.totalbuilding.com.au

Contract Note:

Signed _____ Date: _____
 Builder: _____ Date: _____
 Owner/ Agent: _____ Date: _____

CLIENT
BM Dental House

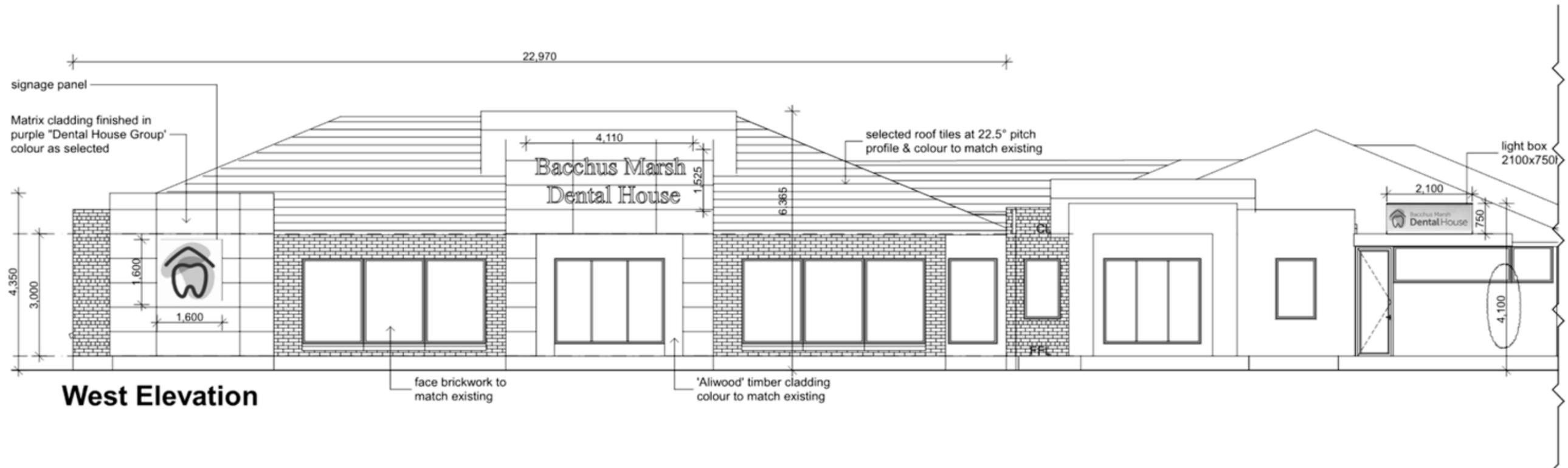
JOB ADDRESS
54 Gisborne Rd
Bacchus Marsh

DRAWING TITLE
Proposed Floor Plan

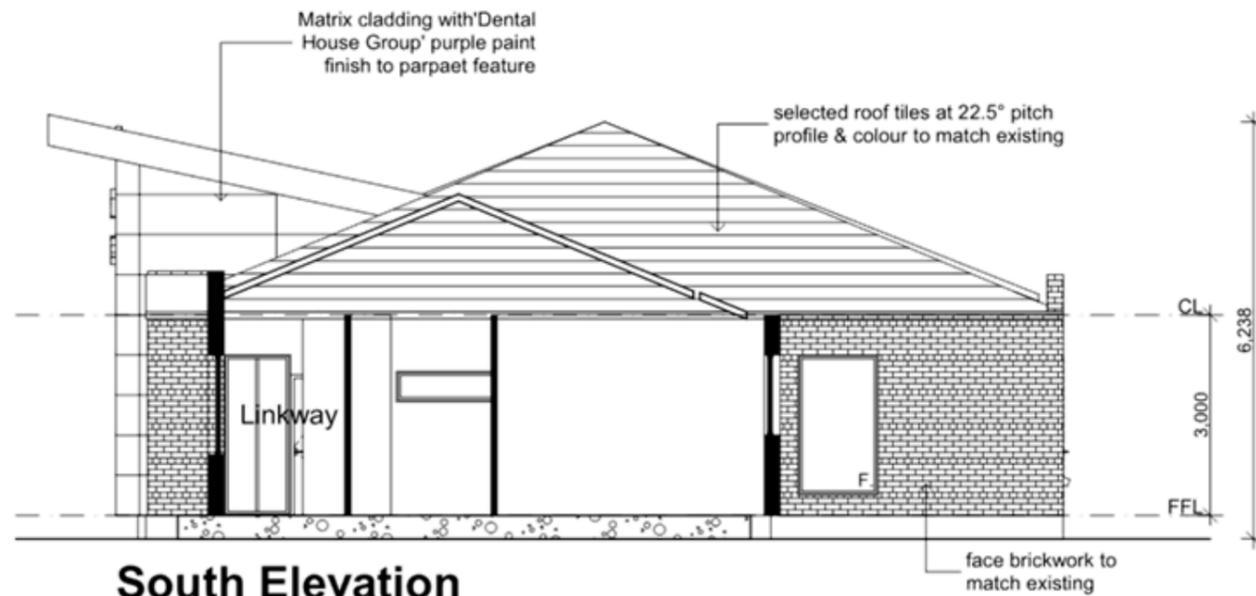
DWG No.
TP04

DATE 24/8/2022	REV. No.
SCALE 1:100 <small>Plans to scale at A3</small>	SHEET No. 4

REF No. **21006**



West Elevation



South Elevation

External Finishes / Colour	
Face Brickwork	Advance Bricks-'Raven' or similar
Concrete Roof Tiles	Alice Roof Tiles 'Nova Rhino' -Stuart
Fascia & Gutter	Colourbond 'Monument Colour
Matrix Cladding	Paint Finish Haymes ' Purple Shade
Aluminium Window Frames	Silver Pearl finish

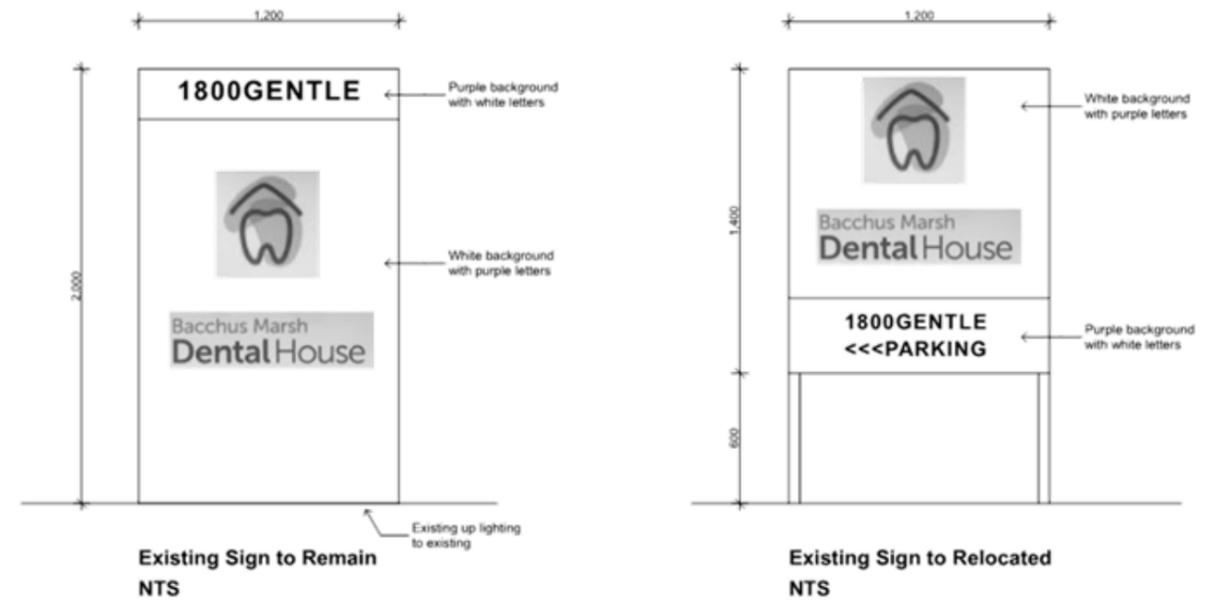
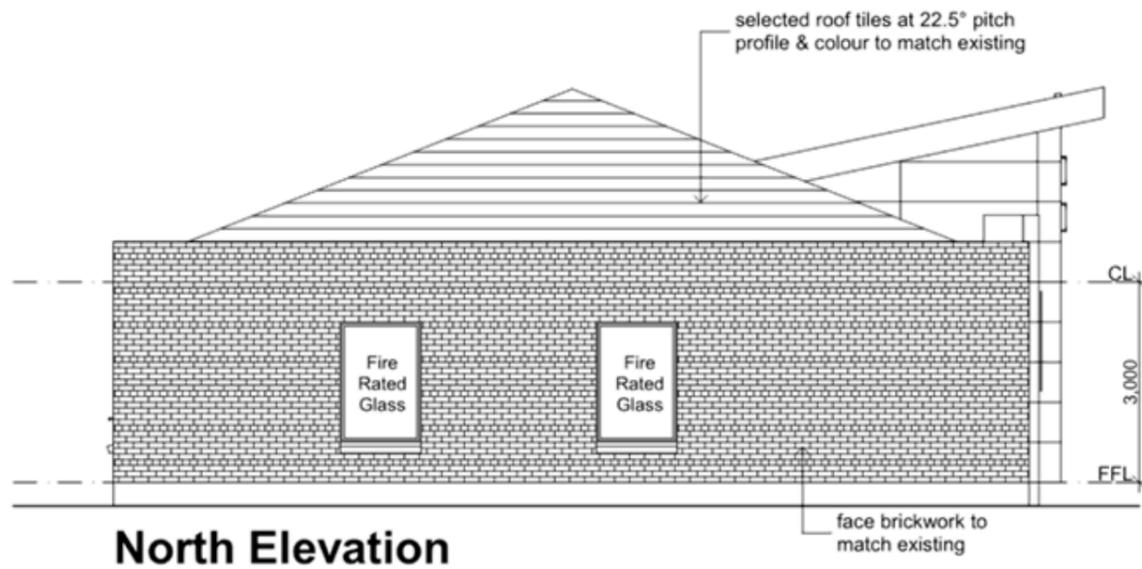
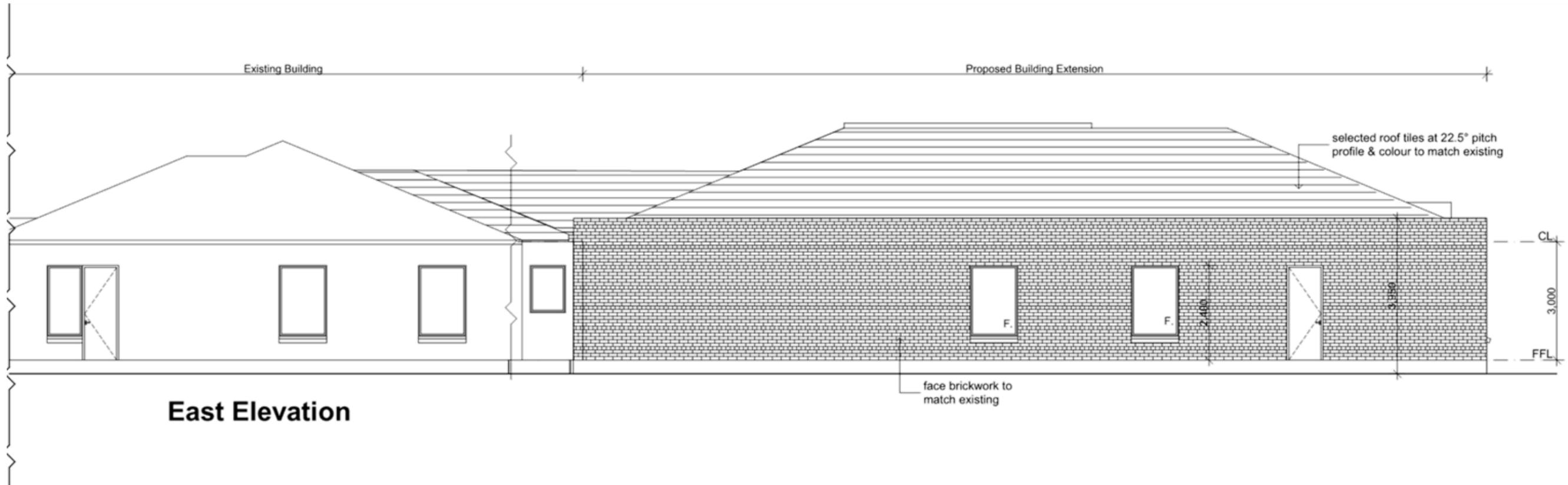
Revisions		
No.	Date	Description
A	26/10/22	signage panels updated and dimension added to light box


 Thomco Investments Pty Limited trading as
Total Building Developments & Design
 219 Main Street, Bacchus Marsh, VIC 3340
 Phone: (03) 5367 1222
 www.totalbuilding.com.au

Contract Note:
 Signed _____
 Builder: _____ Date: _____
 Owner/ Agent: _____ Date: _____

Client
BM Dental House
 Job Address
54 Gisborne Rd Bacchus Marsh
 Drawing Title
Elevations

Date: 24/8/2022	Sheet No. TP05
Scale: 1:100 <small>Plans to scale at A3</small>	REV No. A
REF No. 21006	



Revisions		
No.	Date	Description
A	26/10/22	signange panels updated and dimension added to light box

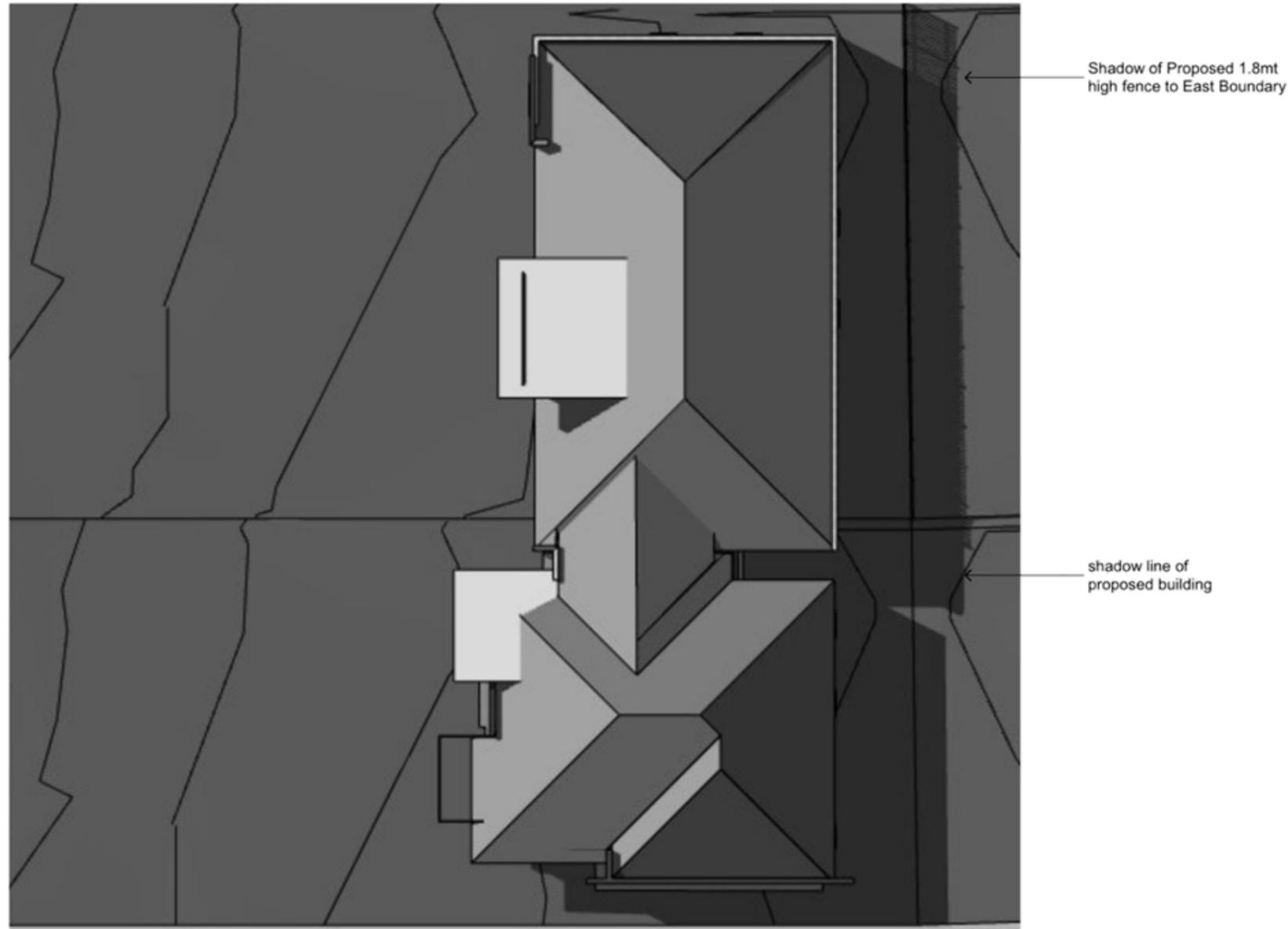
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Contract Note:
 Signed _____
 Builder: _____ Date: _____
 Owner/ Agent: _____ Date: _____

Client
BM Dental House
 Job Address
54 Gisborne Rd Bacchus Marsh
 Drawing Title
signage panel. Signs

Date: 24/8/2022	Sheet No. TP06
Scale: 1:100, 1:1, 1:50.7 <small>Plans to scale at A3</small>	REV No. A
REF No. 21006	



Shadow Diagram

September 22 3pm

Revisions		
No.	Date	Description

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Contract Note:
 Signed _____
 Builder: _____ Date: _____
 Owner/ Agent: _____ Date: _____

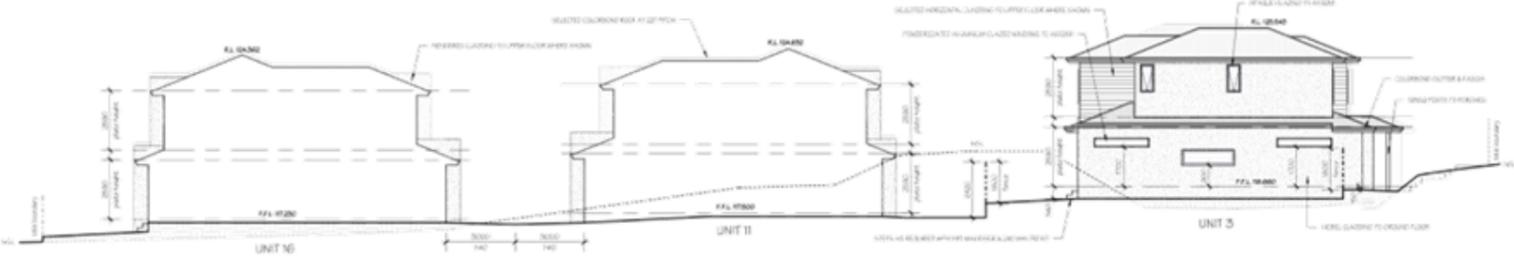
Client
BM Dental House
 Job Address
54 Gisborne Rd Bacchus Marsh
 Drawing Title
Shadow Diagrams

Date: 24/8/2022	Sheet No. TP07
Scale: 1:100 <small>Plans to scale at A3</small>	REV No.
REF No. 21006	





Internal North Elevation - Units 2, 12, 15
SCALE 1:100



Internal North Elevation - Units 3, 11, 16
SCALE 1:100

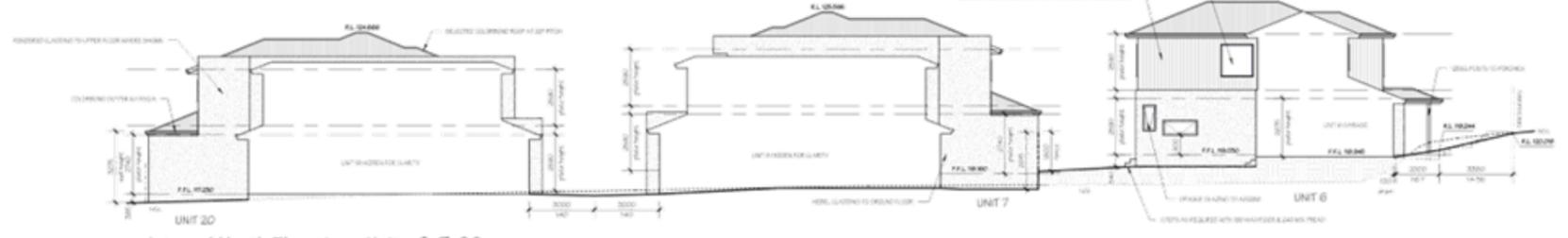


Internal North Elevation - Units 4, 10, 17
SCALE 1:100

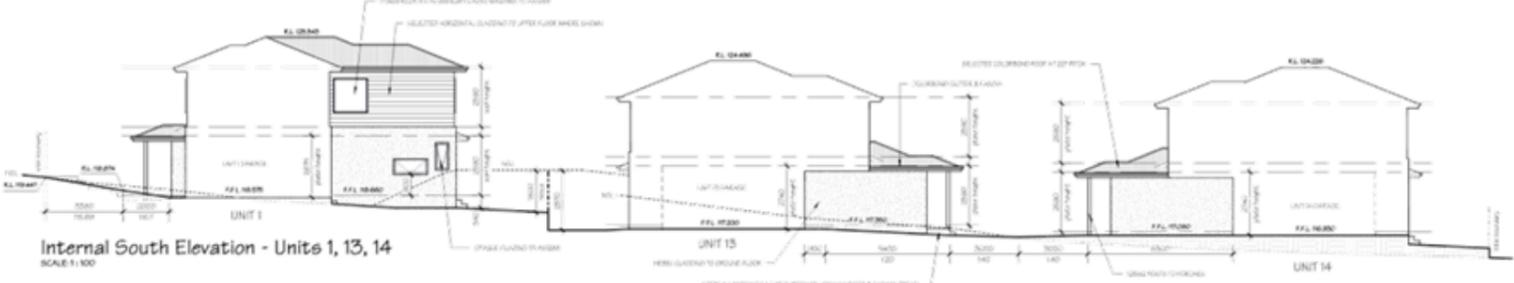


Internal North Elevation - Units 5, 8, 19
SCALE 1:100

NOTE: NGL DENOTES NATURAL GROUND LINE

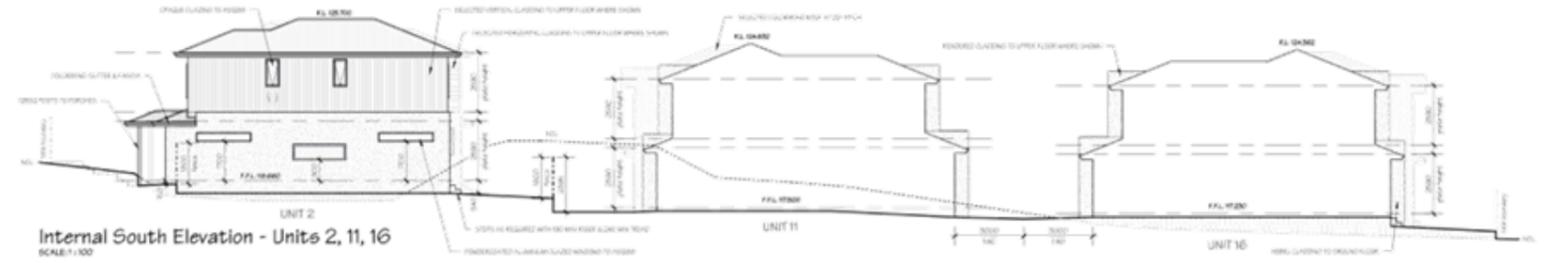


Internal North Elevation - Units 6, 7, 20
SCALE 1:100



Internal South Elevation - Units 1, 13, 14
SCALE 1:100

Peter Hendy design and drafting services registration number TP AD1547 <small>ART 1547 & 1548 (2018) (REGULATED) (15/01/2018-31/03/2023)</small>	CLIENT: Development Holding Pty Ltd	RAISE: N/A	MEASUREMENT: 1:100 (NATURAL GROUND) 1:100 (ARTIFICIAL GROUND) 1:100 (FINISHED GROUND)	SHEET: 220302 TP 5
	DRAWN BY: MURIEL DEVELOPMENT	LOCATION: 2A CHIFFIN STREET, MADDINGLEY	DATE: 19/04/2023	REFERENCE: 220302 TP 5



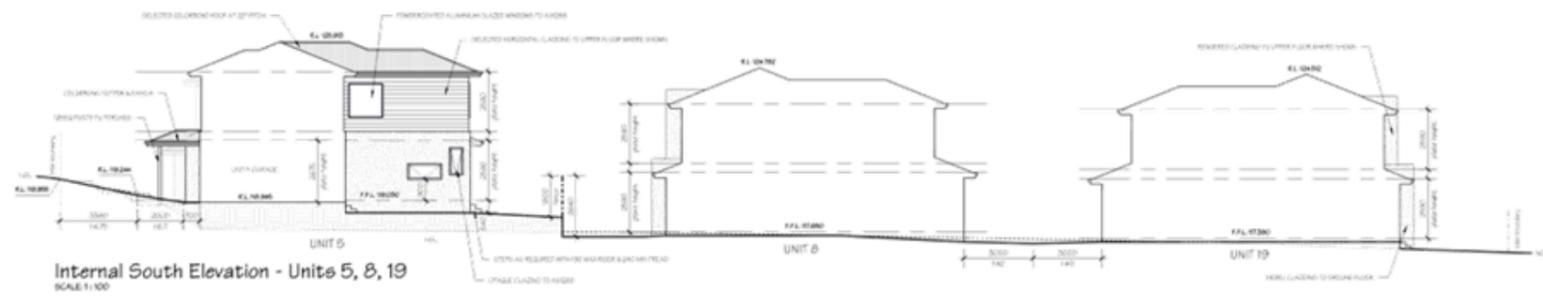
Internal South Elevation - Units 2, 11, 16
SCALE: 1:100



Internal South Elevation - Units 3, 11, 16
SCALE: 1:100

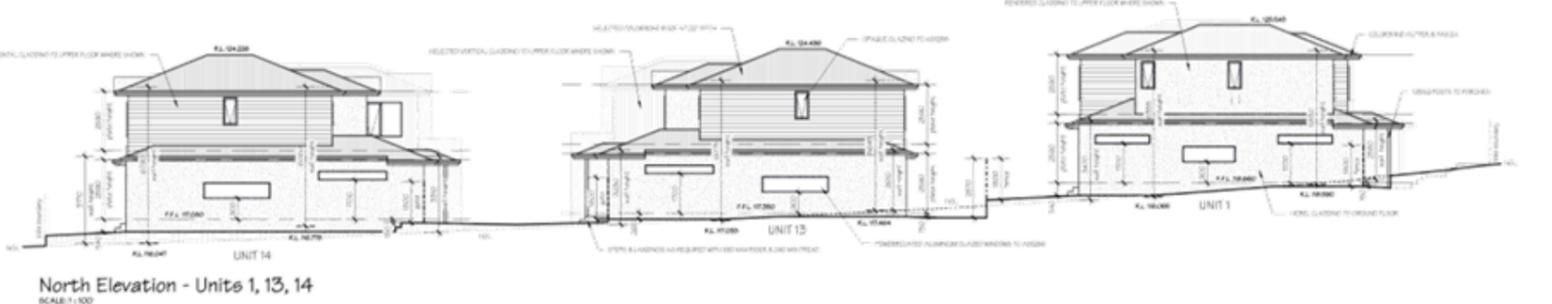


Internal South Elevation - Units 4, 9, 18
SCALE: 1:100



Internal South Elevation - Units 5, 8, 19
SCALE: 1:100

NOTE: NGL DENOTES NATURAL GROUND LINE



North Elevation - Units 1, 13, 14
SCALE: 1:100



South Elevation - Units 6, 7, 20
SCALE: 1:100

Peter Hendy design and drafting services registration number TP AD1547 <small>ART 1547, 15 APR 2015, 15 APR 2015, 15 APR 2015, 15 APR 2015</small>	CLIENT: Development Holding Pty Ltd	RAISED BY: MARS Development	ADDRESS: 24 CHIFFIN STREET, MADDISLY	SHEET NO: 220302 TP 5
	DRAWN BY: MARS Development	LOCATION: 24 CHIFFIN STREET, MADDISLY	SCALE: 1:100	REFERENCE: 220302 TP 5