



ATTACHMENTS

**Development Assessment Committee
Meeting**

Under Separate Cover

Wednesday, 14 December 2022

Table of Contents

7.1	PA2021132 - Multi-Lot Staged Subdivision, Creation and Variation of Easements and Removal of Vegetation at 174 Mortons Road, Pentland Hills	
	Attachment 1 Proposed layout and slope analysis	3
7.2	PA2022092 - Development and Use of a Dwelling and Ancillary Shed at Tierneys Road, Dunnstown	
	Attachment 1 Dwelling Floor Plans & Elevations	11
	Attachment 2 Dwelling Site Plans	14
	Attachment 3 Shed Plans	15
7.3	PA2022117 - Development of a Residential Aged Care Facility, Associated Vegetation Removal and Reduction in Car Parking at 166 and 168 Inglis Street, 33 Cowie Street and 91 Simpson Street, Ballan	
	Attachment 1 Elevations	17
	Attachment 2 Demolition Plan	18
	Attachment 3 Site Design Response Plan.....	19
	Attachment 4 Landscape Plan	20

Underbank Urban Design Package

Underbank - Park View - Stage 24-29

Client

Kataland Investments Pty Ltd

Issued

10.06.2022



Beveridge Williams

Contents

Site Context Plan	3
Site Analysis Plan	4
Slope Analysis Plan - Stage 24-29	5
Indicative Subdivision Plan - Stage 24-29	6
Design Reponse Plan - Stage 24-29	7

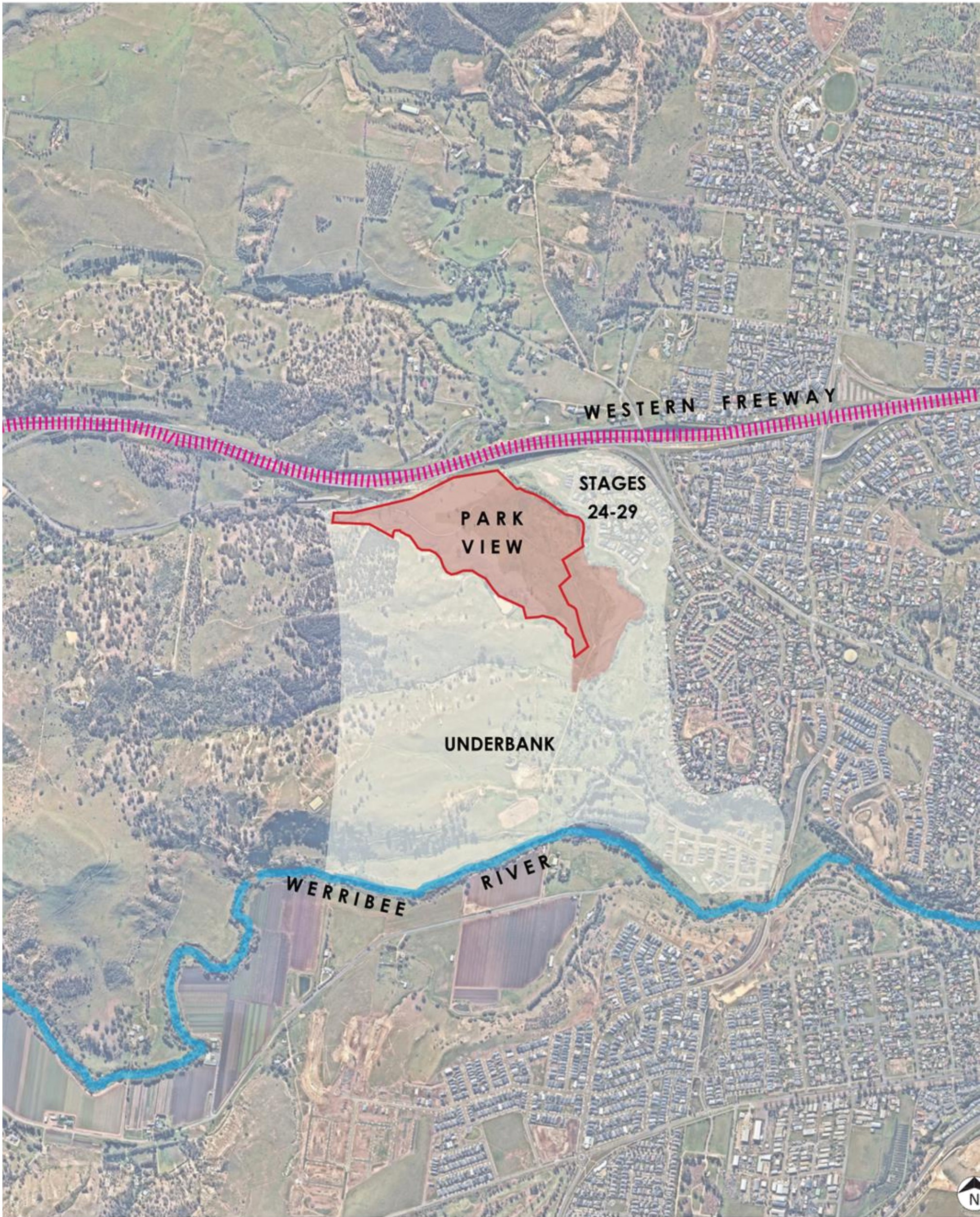


Figure 1. Site Context Plan (NTS)

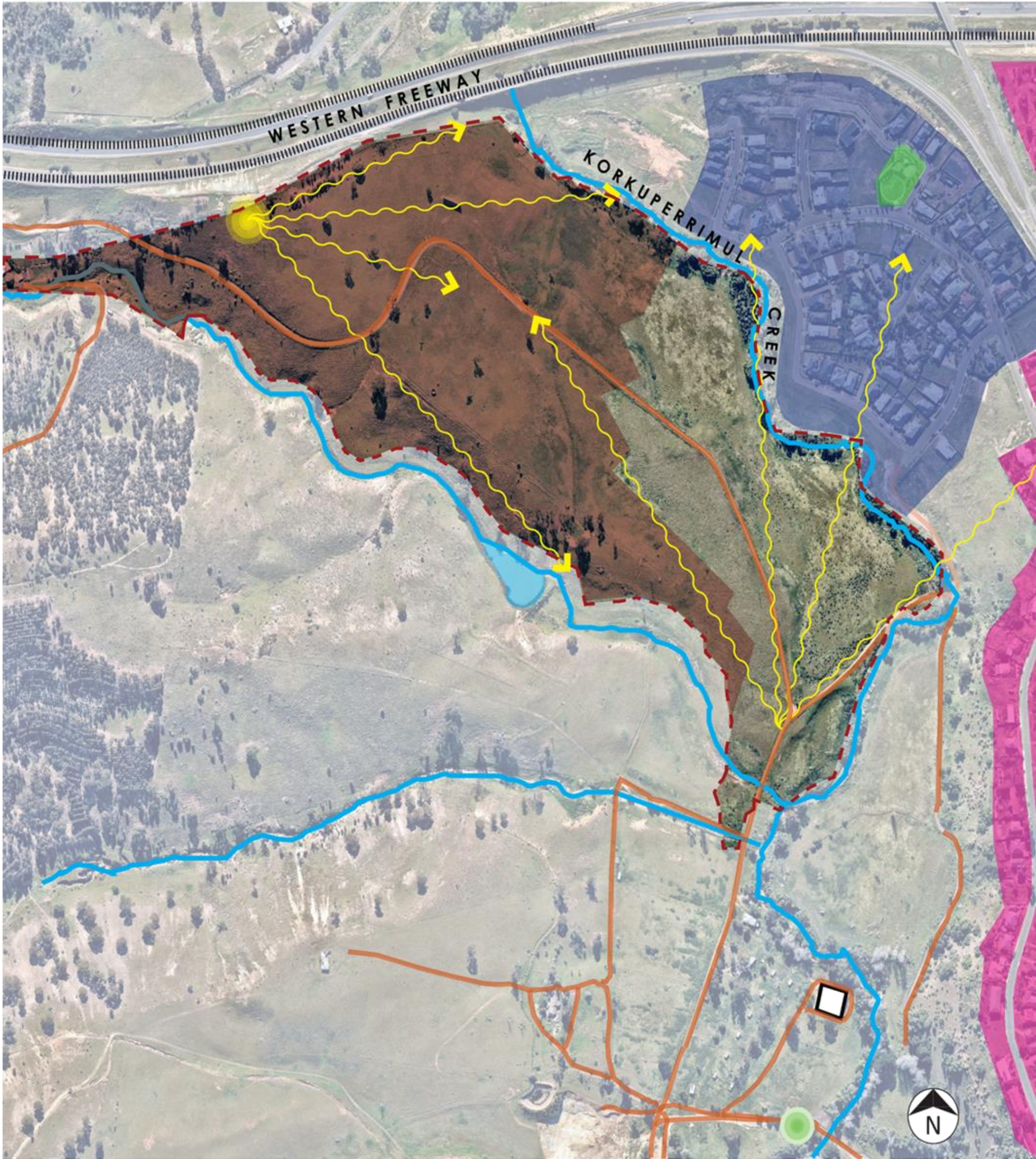


Figure 2. Site Analysis Plan (NTS)

- LEGEND**
- Extent of Works

Existing Freeway

Watercourse

Existing Road (gravel)

Heritage Tree

Existing Significant Heritage Building

Existing Park

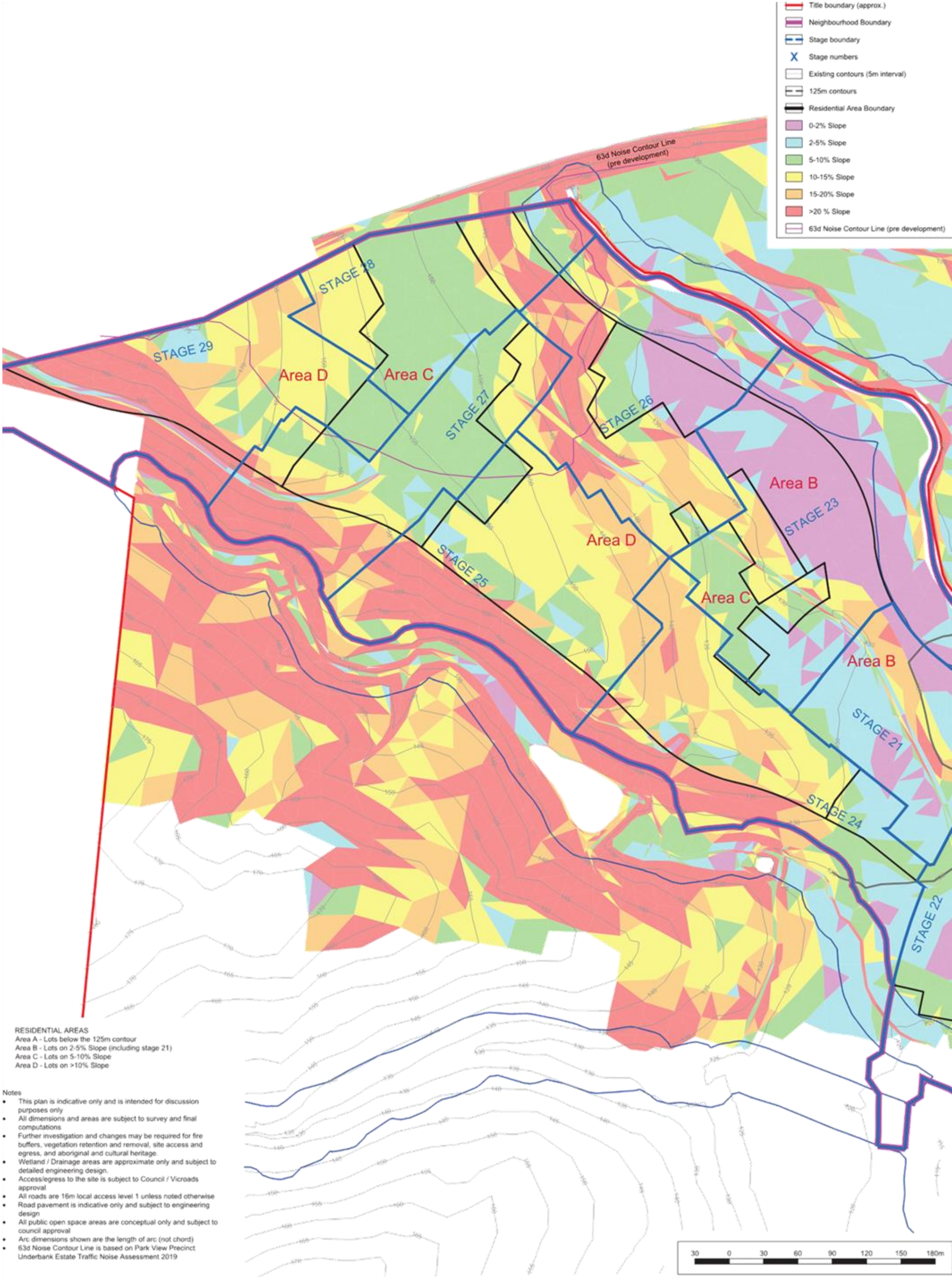
Existing Dam / Water-body

Underbank Rosehill Village Existing Residential

Existing Residential Interface

Existing Views

High Point of Site
- Underbank - Park View
- Item 7.1 - Attachment 1
- Page 6





**Beveridge
Williams**

Sierferne Road, Malvern, Victoria 3144

Slope Analysis Plan - Stage 24-29

Underbank - Park View

Kataland

Version	Date	Description	Drafted	Approved
01	11.05.21	Initial Issue	MJ	WEB
02	13.05.21	Amendments to suit clients comments	MJ	WEB
03	06.06.21	Updated to match Subdivision Master Plan	MJ	WEB

Date: 09.06.21

Version No: **03**

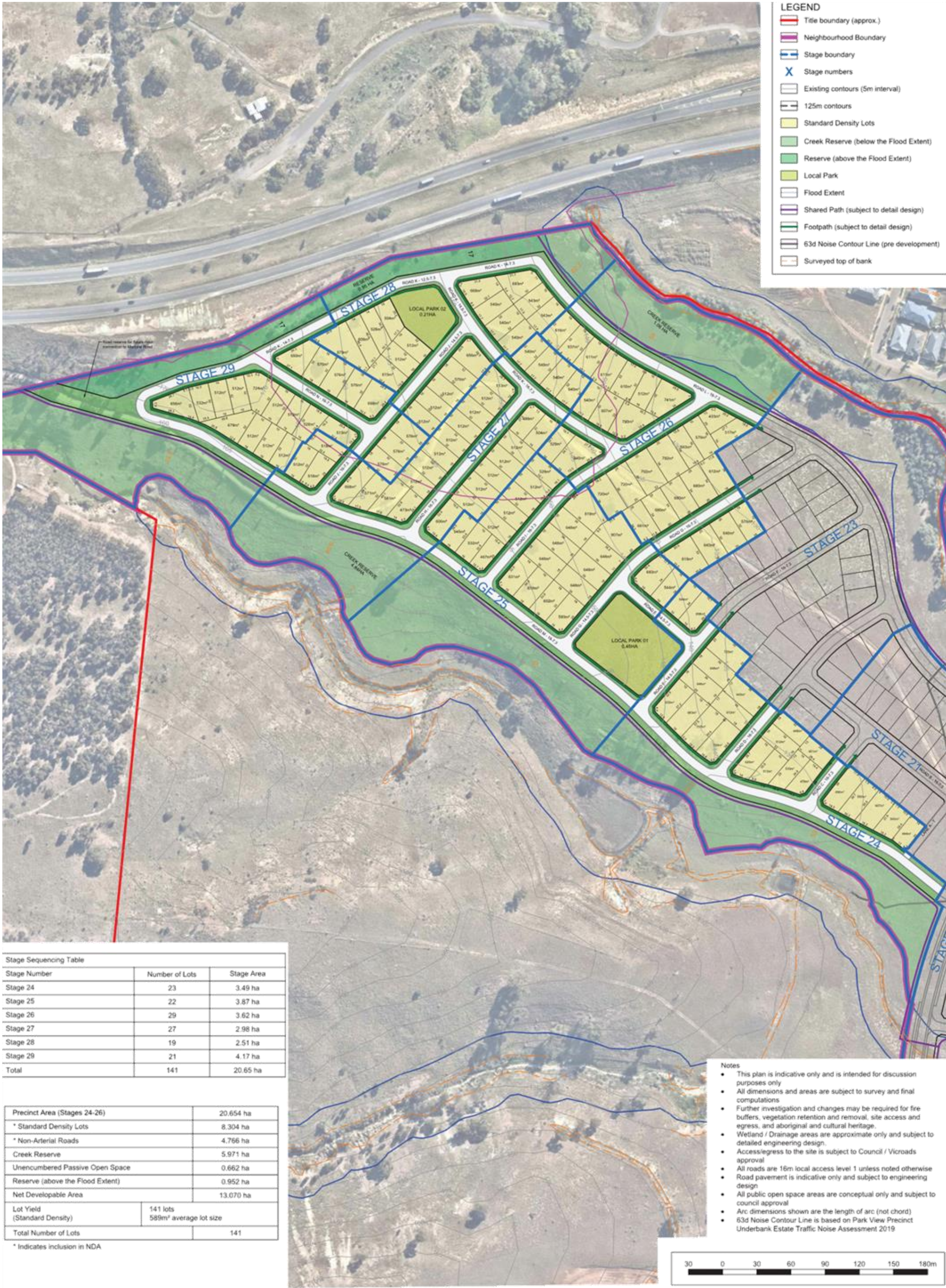
Job No: 2000150

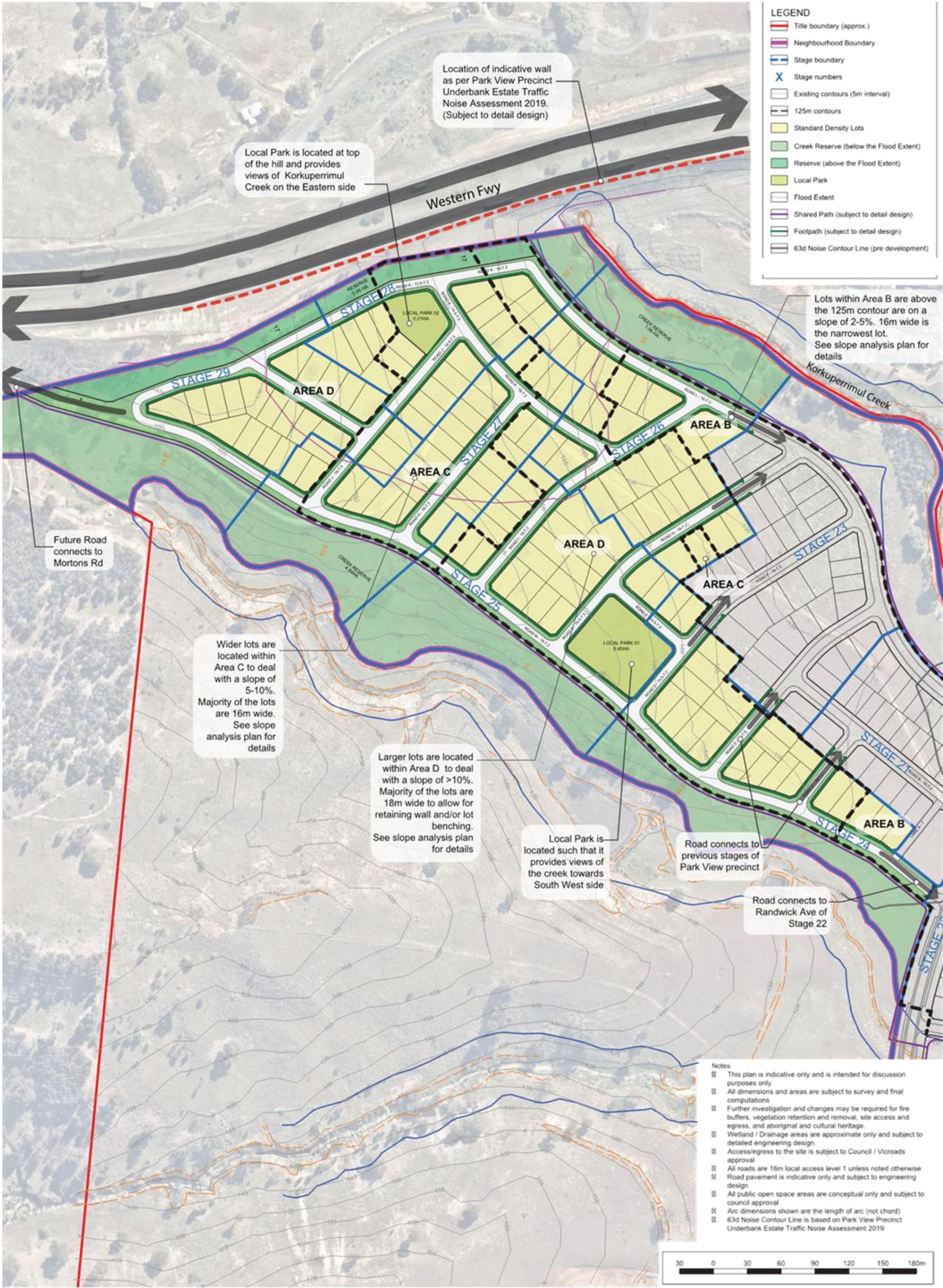
Scale (A1): 1:1500

(A3): 1:3000



K:\JOBS DATA\2000150 - UNDERBANK - BACCHUS MARSH_UD\CAD\2000150_UD_BASE01.dwg







Beveridge Williams

Design Response Plan - Stage 24-29

Underbank - Park View

Kataland

Version	Date	Description	Drafted	Approved
01	11.05.21	First Issue	MJ	WEB
02	13.05.21	Amendments to suit clients comments	MJ	WEB
03	06.02.21	Amendments to match DSP	MJ	WEB

Date: 09.06.21

Version No: **03**

Job No: 2000150

Scale (A1): 1:1500

(A3): 1:3000



This document is prepared by Beveridge Williams for exclusive use of our clients.

Surveying
Asset Recording
Civil Engineering
Infrastructure Engineering
Traffic & Transport Engineering
Environmental Consulting
Water Resource Engineering
Strata Certification (NSW)
Town Planning
Urban Design
Landscape Architecture
Project Management

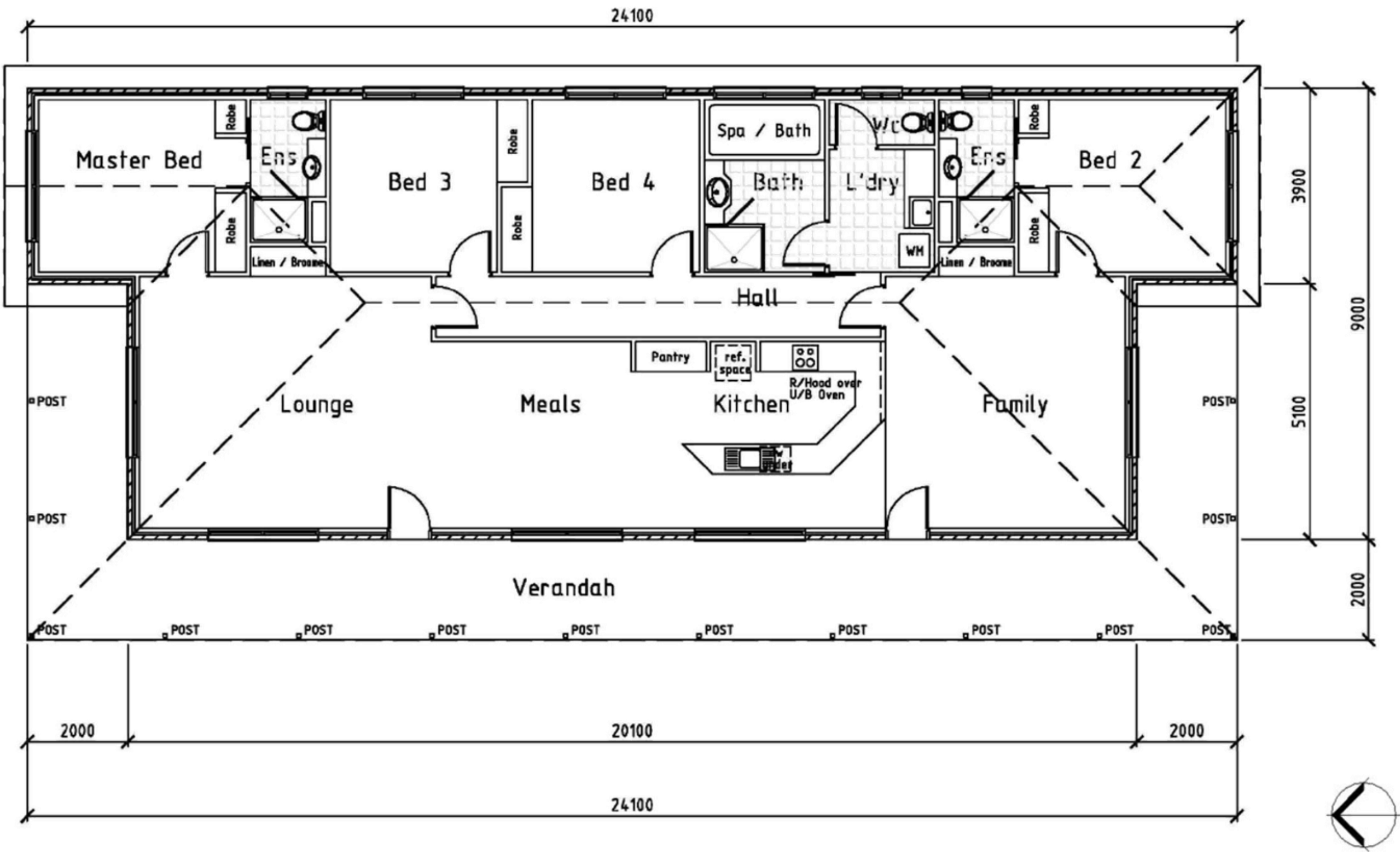
Central Coast
Sydney
Miranda
Ballarat
Melbourne
Geelong
Warragul
Traralgon
Sale
Bairnsdale
Leongatha
Wonthaggi

**Melbourne
(Head Office)**

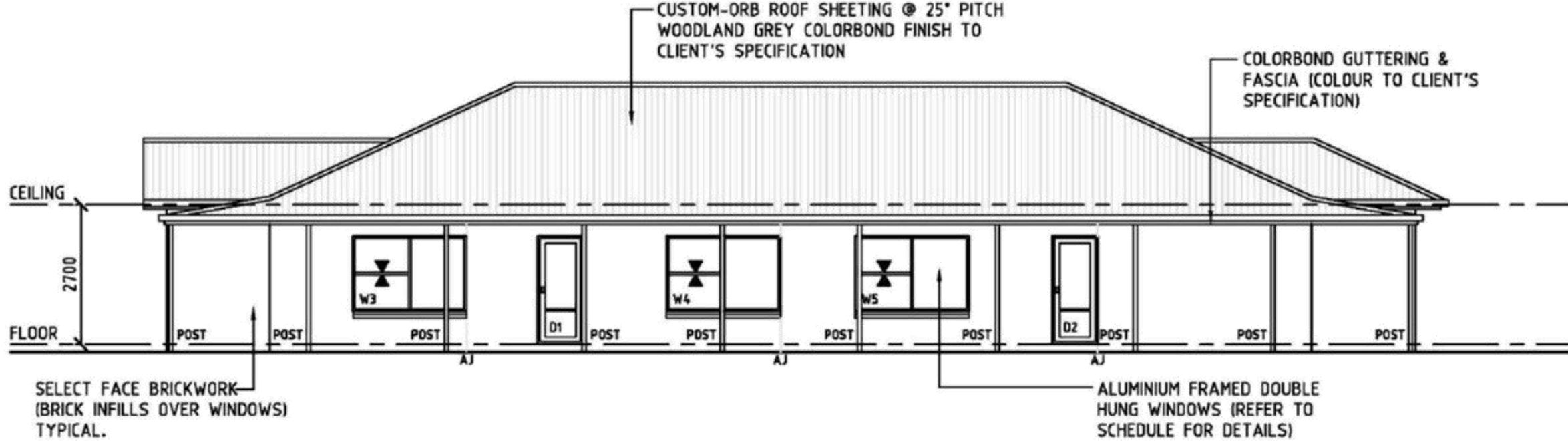
1 Glenferrie Road
(PO Box 61)
Malvern VIC 3144
E: melbourne@bevwill.com.au
P: (03) 9524 8888
www.beveridgewilliams.com.au



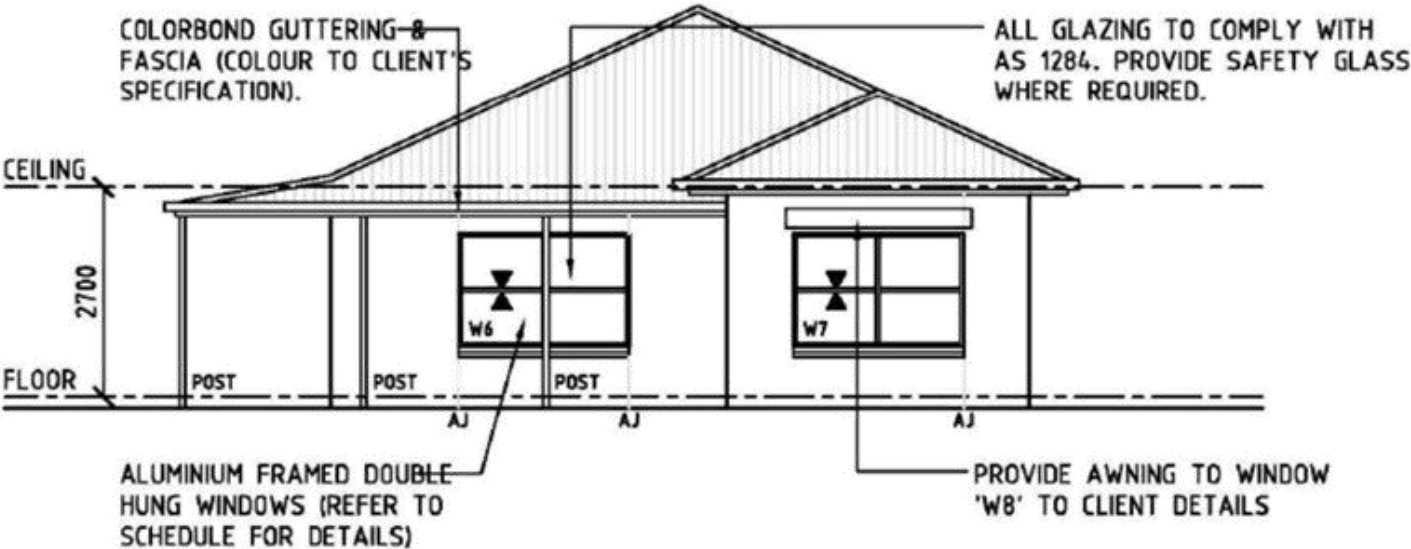
Beveridge Williams



Sheet No. 1 of 3 Sheet Size: A3 Job Ref : 22750-01 Drawing No. PP4BR-01 Date: April, 2022	Client: Karl Begbie Tierneys Road Dunnstown	Proposal: Proposed Dwelling	Floor Plan Revision 1 <u>Do Not Scale</u>
---	--	------------------------------------	---

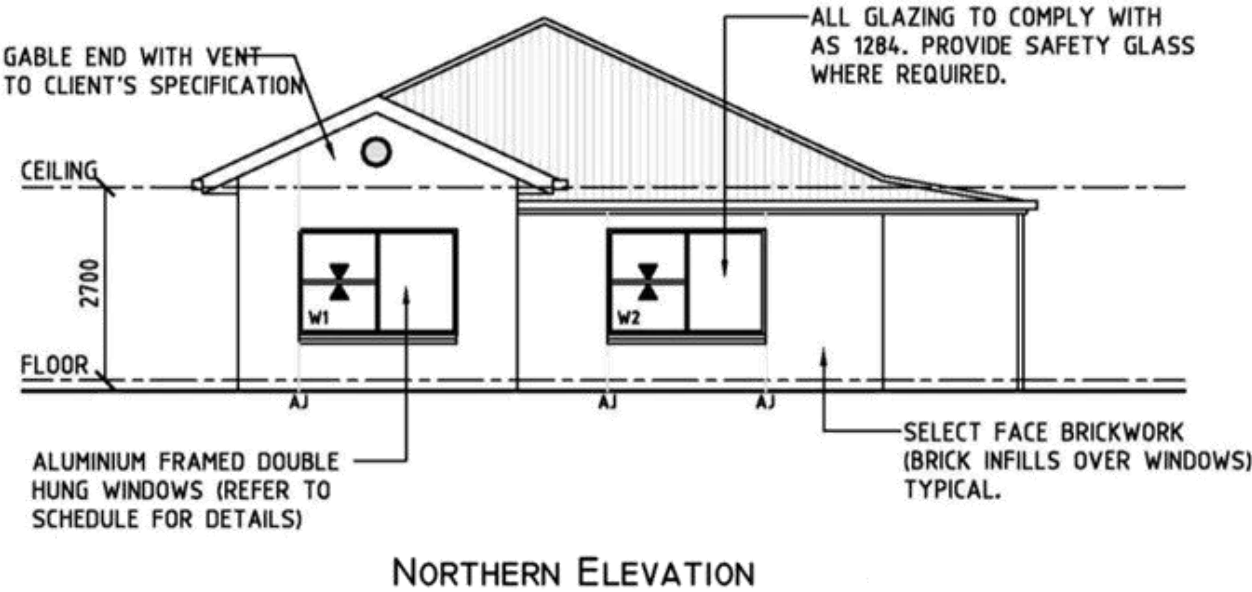
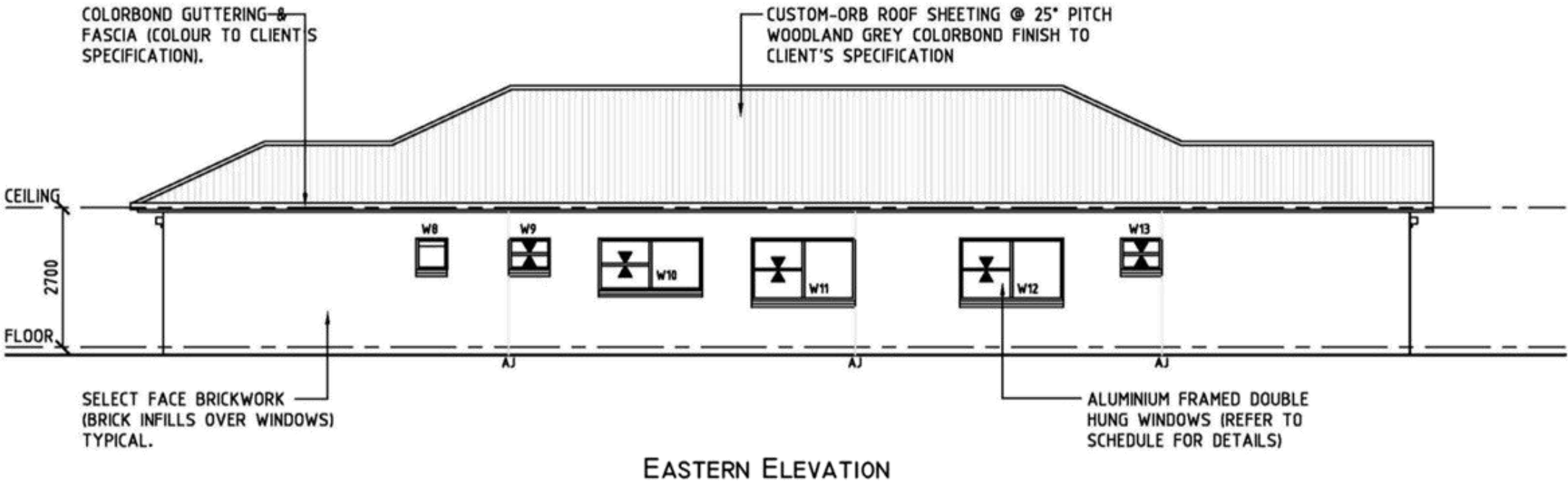


WESTERN ELEVATION



SOUTHERN ELEVATION

Sheet No. 2 of 3 Sheet Size: A3 Job Ref : 22750-01 Drawing No. PP4BR-02 Date: April, 2022	Client: Karl Begbie Tierneys Road Dunnstown	Proposal: Proposed Dwelling	Elevations (1) Revision 1 <u>Do Not Scale</u>
---	--	------------------------------------	---



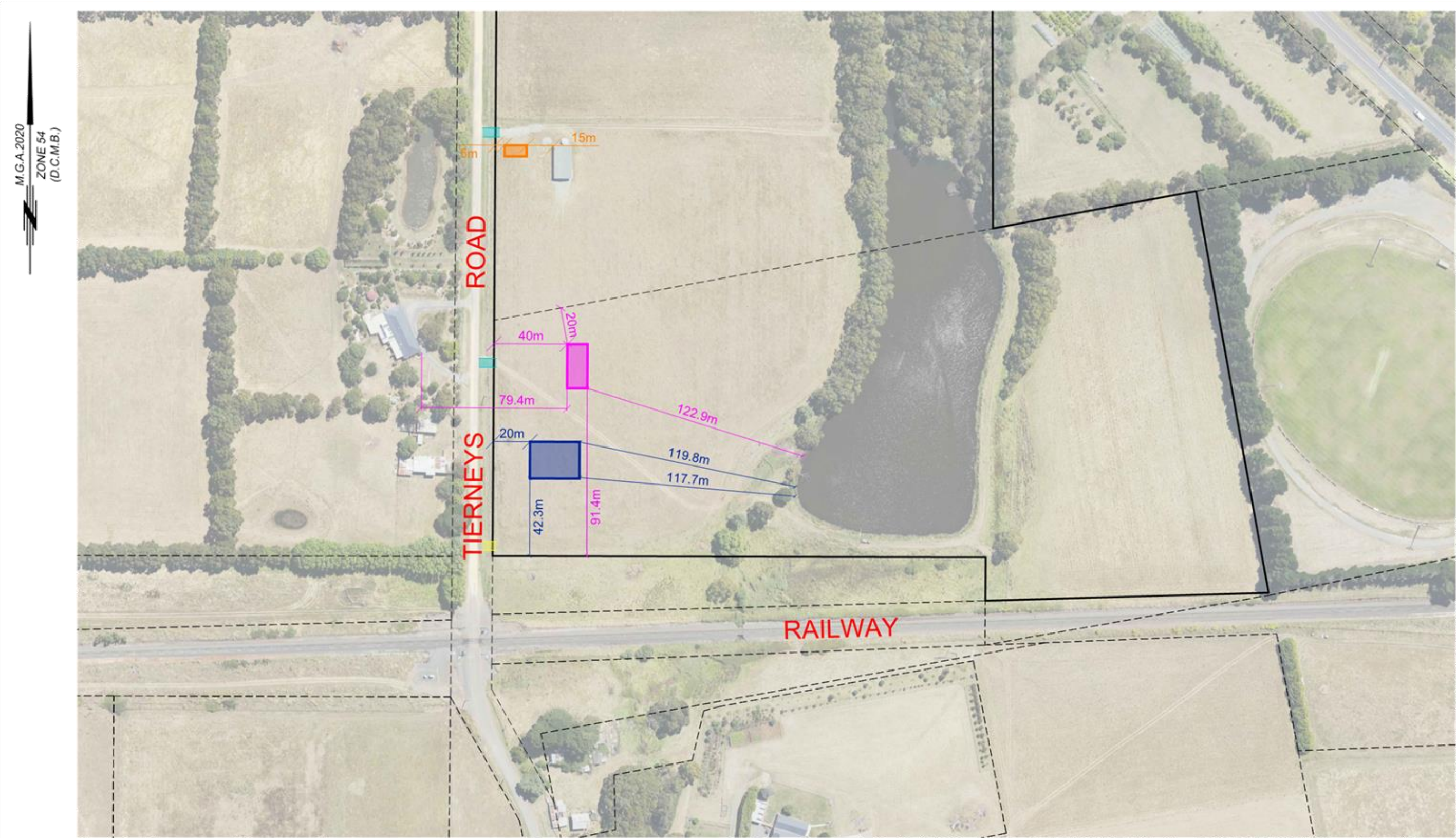
Materials & Colours

Bricks Selkirk – Laneway Vibe Tumbled

Colorbond Roofing and Trims – Woodland Grey

Windows – Woodland Grey





Sheet No. 3 of 3 Sheet Size: A3 Job Ref : 22750-01 Drawing No. PP4BR-03 Date: April, 2022	Client: Karl Begbie Tierneys Road Dunnstown	Proposal: Proposed Dwelling	Elevations (2) Revision 1 <u>Do Not Scale</u>
---	--	------------------------------------	---



Rev.	Revision	Date
-	-	-



ABN 11 125 568 461
Level 1, 27-31 Myers Street (PO Box 1137) Geelong, VIC Australia 3220
Phone +61 3 5202 4600 Fax +61 3 5202 4691
Email: victoria@cardno.com.au Web: www.cardno.com

-  PROPOSED DWELLING LOCATION (24m x 11m)
-  PROPOSED EFFLUENT LOCATION (27m x 20m)
-  PROPOSED HAY SHED (12.18m x 6m)
-  ACCESS VIA EXISTING GATE LOCATION
-  ACCESS VIA PROPOSED GATE LOCATION

PLAN OF PROPOSED DWELLING & EFFLUENT

TIERNEYS ROAD
DUNNSTOWN, 3352

Job Number: 22750-01
Sheet: 1 of 1
Date of Survey: N/A

Date of Issue
26/07/2022

LENGTHS ARE IN METRES

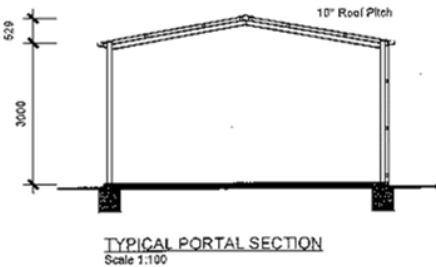
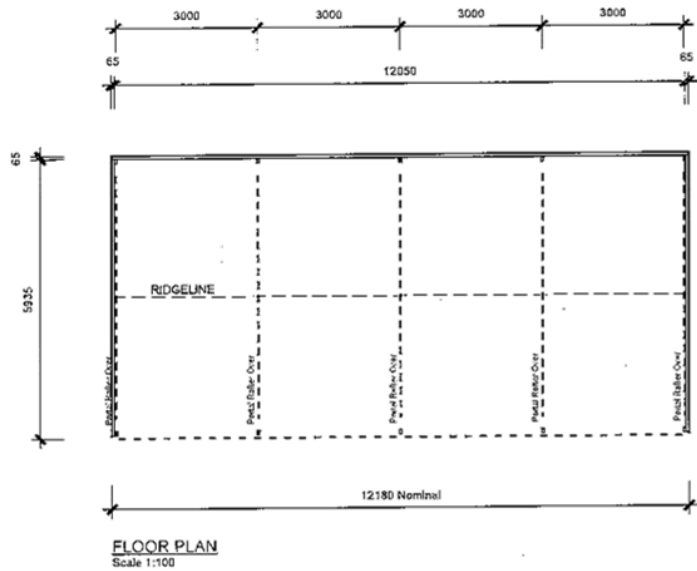
20 0 20 40 60 80 100

1:2000

At Size
A3

Survey: N/A Drawn: AD Checked: JP

DWG: **22750-01-PP** REV: **2**




- Colour Coated Ridge Flashing (Colour to be Specified)
- Colour Coated Corrugated Roof Cladding (Colour to be Specified)
- Colour Coated Quad Gutter (Colour to be Specified)
- Tophat Purlins to Engineers Specification
- RHS Rafter to Engineers Specification
- Colour Coated Rotpanel Wall Cladding (Colour to be Specified)
- Tophat Girts to Engineers Specification
- RHS Columns to Engineers Specification
- Slab By Others to Engineers Specification
- Foundations to Engineers Specification



DOOR SCHEDULE			
MARK	DESCRIPTION	SIZE	COLOUR

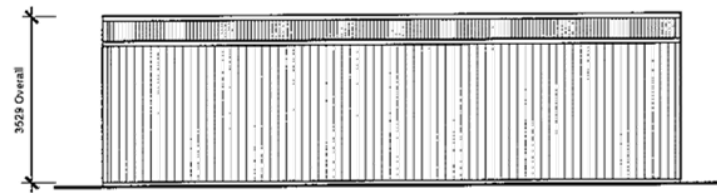
Approved by Client: _____ Date: ____/____/____

 SAFETY STEEL STRUCTURES <small>34-50 NATHAN ROAD DAYDENONG SOUTH VIC 3175 TELEPHONE (03) 5700 7711 FACSIMILE (03) 8706 7392</small>	Drawing Title Floorplan			
	Author Michael Grech		Client Proposed Farm Shed	
	Scale 1:100		Project No. 1824286	
	Rev. No. 1		Drawing No. A1.1	

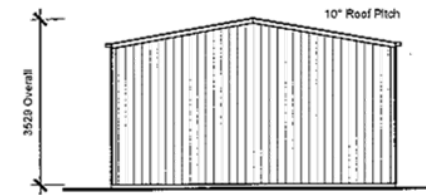
This drawing remains the intellectual property of Safety Steel Structures and shall be used only as authorised by Safety Steel Structures.

Rev.
-

Page
A3



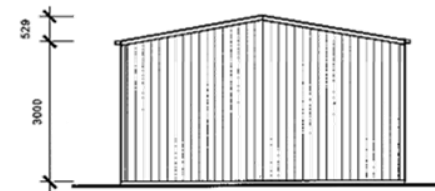
ELEVATION A
Scale 1:100



ELEVATION B
Scale 1:100




ELEVATION C
Scale 1:100

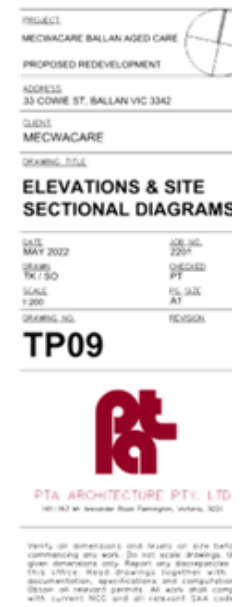


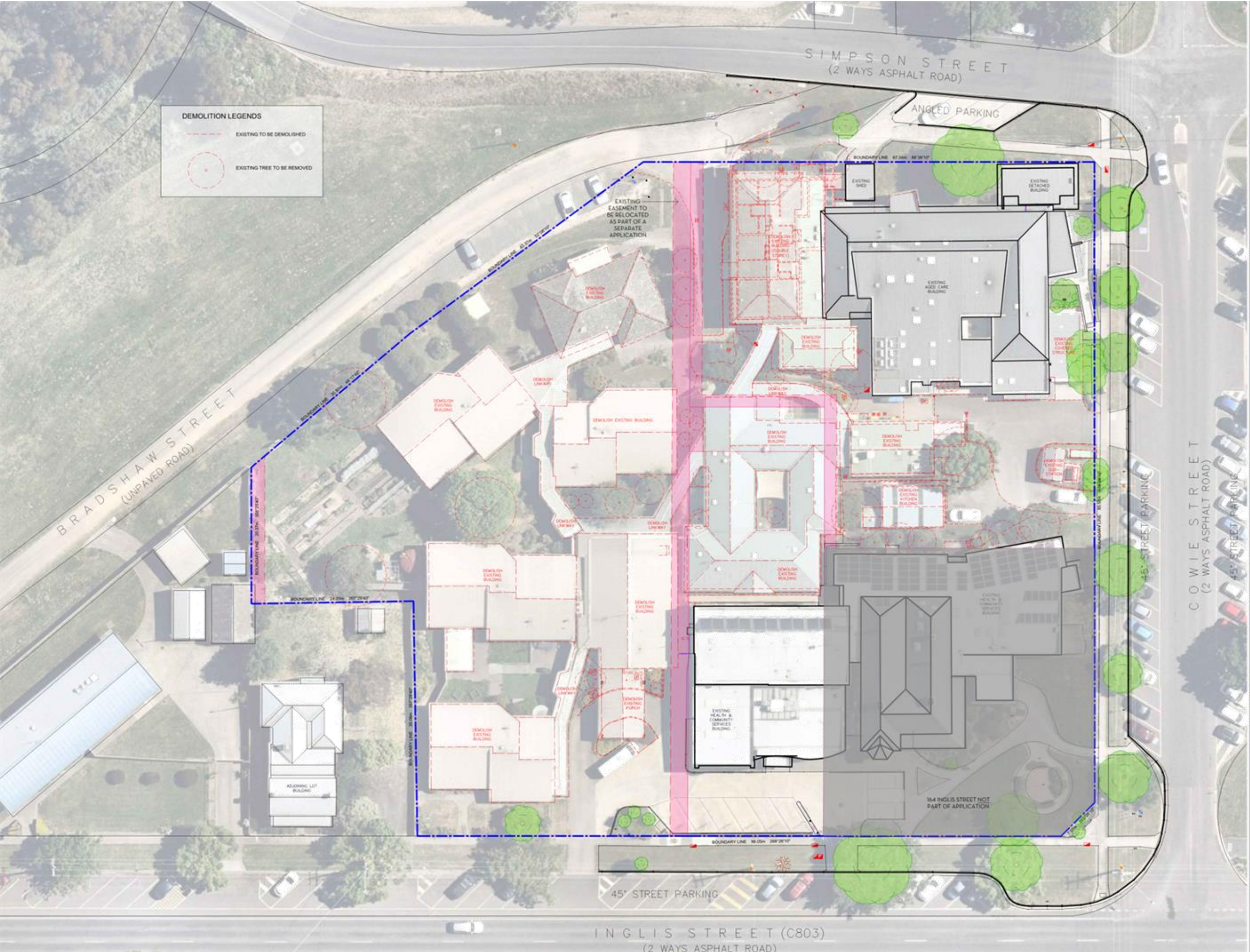
ELEVATION D
Scale 1:100

Colour Coated Ridge Flashing (Colour to be Specified)
 Colour Coated Barge Flashing (Colour to be Specified)
 Colour Coated Corrugated Roof Cladding (Colour to be Specified)
 Colour Coated Quad Gutter (Colour to be Specified)
 Colour Coated Rolpanel Wall Cladding (Colour to be Specified)

Approved by Client: _____ Date: ____/____/____

 SAFETY STEEL STRUCTURES 34-50 NATHAN ROAD DANDENONG SOUTH VIC 3175 TELEPHONE (03) 9708 7711 FACSIMILE (03) 9708 7992 <small>This drawing remains the intellectual property of Safety Steel Structures and shall be used only as authorised by Safety Steel Structures</small>	Issue Status:	Drawing Title: Elevations			
	Date:	Client:			
	Drawn: Michael Grech	Project: Proposed Farm Shed			
	Checked:	Site:			
Scale: 1:100	Project No: 1824286	Drawing No: A2.1	Rev: -	Page: A3	





PLANNING

REF: DETAIL

004

PROJECT

MECHWACARE BALLAN AGED CARE

PROPOSED REDEVELOPMENT

33 COWIE ST, BALLAN VIC 3342

CLIENT

MECHWACARE

DRAWING TITLE

PROPOSED DEMOLITION PLAN

DATE

MAY 2022

DESIGNER

TK/SD

DRAWN

T/SD

CHECKED

PT

DESIGNED

SD

REVISION

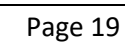
PT

TP04



PTA ARCHITECTURE PTY. LTD.
140-142 Waverley Road, Waverley, Victoria, 3024

Verify all dimensions and levels of site before commencing any work. Do not scale drawings. If given dimensions only, Report any discrepancies to the client. Detail drawings together with documentation, specifications and computer. Share all relevant drawings. All work shall comply with current NCC and all relevant SAA code.



MECWACARE - COWIE STREET, BALLAN

LANDSCAPE ARCHITECTURAL PACKAGE

JUNE 2022

DRAWING INDEX

LP000	COVER SHEET
LP001	SITE PLAN
LP002	EXISTING SITE PHOTOS
LP101	OVERALL LANDSCAPE PLAN
LP102	LANDSCAPE PLAN 01
LP103	LANDSCAPE PLAN 02
LP201	MATERIAL PALETTE & FURNITURE

SITE IMAGE





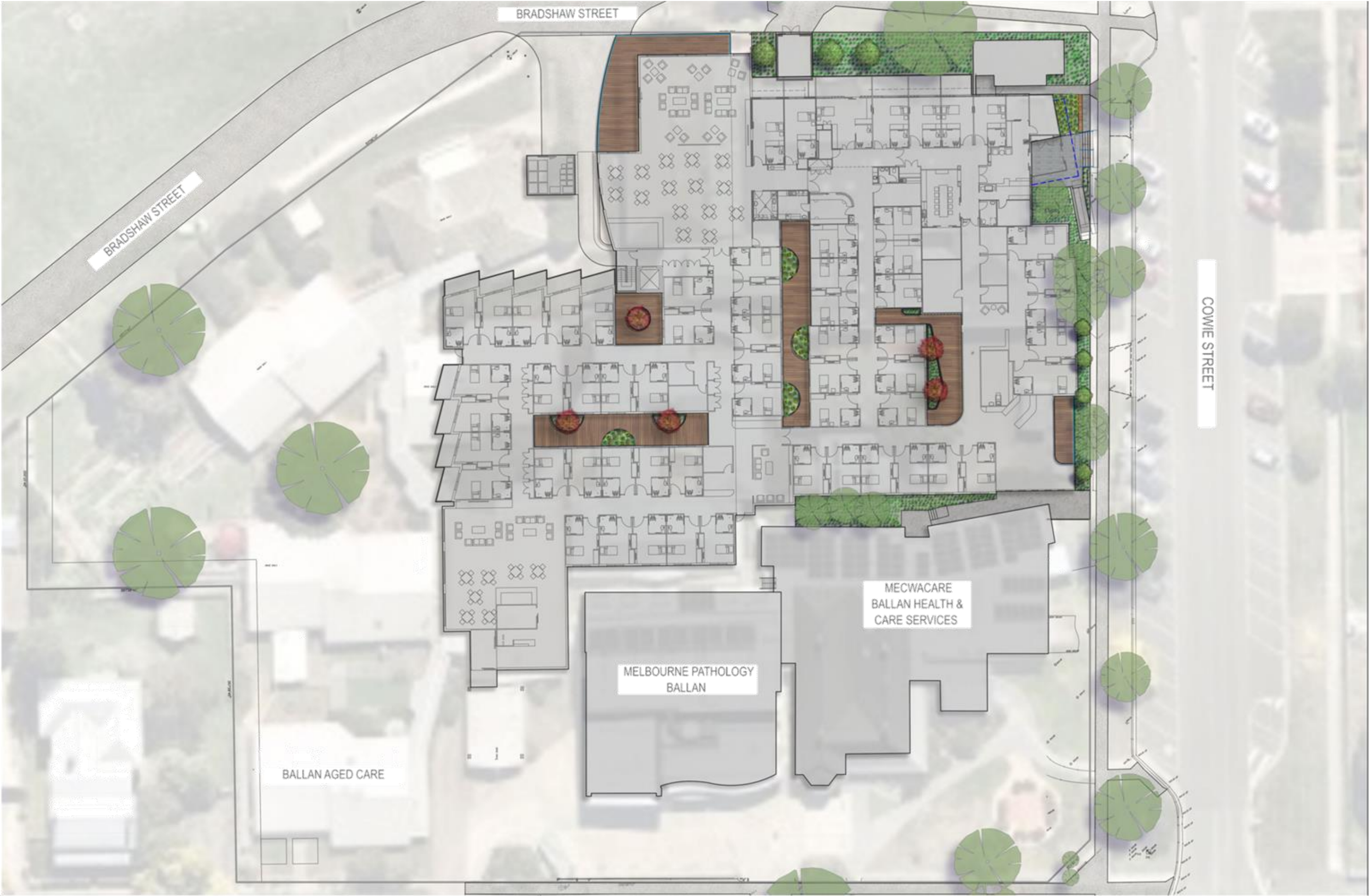
MECWACARE - COWIE STREET, BALLAN
SITE PLAN



CLIENT	MECWA CARE	DRAWING NUMBER	LP001
ARCHITECT	PTA ARCHITECTURE	ISSUE	8
SITE IMAGE JOB NUMBER	SM22481	DATE	01/05/2022

EXISTING SITE PHOTOS





 **SITE IMAGE**
Landscape Architects

MECWACARE - COWIE STREET, BALLAN
OVERALL LANDSCAPE PLAN

SCALE 1:200 @ A1 | 1:400 @ A3
0 2 4 8 12 20M



CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

MECWA CARE
PTA ARCHITECTURE
SM22481

DRAWING NUMBER	ISSUE	DATE
LP101	8	01.05.2022



LEGEND			
	EXISTING TREE TO RETAIN		EVERGREEN TREE
	DECIDUOUS FEATURE TREE		TIMBER DECKING
	BUILDING LEVEL		COLOURED CONCRETE PAVING
	BUILDING OVER		LIGHT COLOURED TILE PAVEMENT
	SIGNAGE		CUSTOM TIMBER BENCH SEAT
	EVERGREEN TREE		
	DECIDUOUS FEATURE TREE		
	LOW PLANTING		
	FEATURE LOW PLANTING		
	RAISED BLOCKWORK PLANTERS		



SITE IMAGE
Landscape Architects

MECWACARE - COWIE STREET, BALLAN

LANDSCAPE PLAN 01

SCALE 1:200 @ A1 | 1:400 @ A3

0 1 2 4 6 10M 20M



CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

MECWACARE
PTA ARCHITECTURE
SM22481

DRAWING NUMBER
ISSUE
DATE

LP102
8
01.05.2022



LEGEND

	EXISTING TREE TO RETAIN		EVERGREEN TREE		TIMBER DECKING
	BUILDING LEVEL		DECIDUOUS FEATURE TREE		COLOURED CONCRETE PAVING
	BUILDING OVER		LOW PLANTING		LIGHT COLOURED TILE PAVEMENT
	SIGNAGE		FEATURE LOW PLANTING		CUSTOM TIMBER BENCH SEAT
			RAISED BLOCKWORK PLANTERS		

SITE IMAGE
Landscape Architects

MECWACARE - COWIE STREET, BALLAN
LANDSCAPE PLAN 02

SCALE 1:200 @ A1 | 1:400 @ A3
0 1 2 4 6 10M

CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

MECWACARE
PTA ARCHITECTURE
SM22481

DRAWING NUMBER
ISSUE
DATE

LP102
8
01.05.2022

PLANTING
TREES



Acer dissectum
MAPLE



Bursaria spinosa
SWEET BURSARIA *



Elaeocarpus reticulatis
BLUEBERRY ASH



Lagstroemia indica
CREPE MYRTLE



Magnolia 'Little Gem'
DWARF MAGNOLIA



Pyrus 'capital'
CAPITAL PEAR



Tristanopsis laurina
WATER GUM

MASS PLANTING



Acacia 'Limelight'
LIMELIGHT ACACIA



Camellia sasanqua
SMALL LEAF CAMELLIA



Correa reflexa
DUSKY BELLS *



Choisya ternata
MEXICAN ORANGE BLOSSOM



Lomandra longifolia 'Tanika'
LOMANDRA TANIKA *



Poa labillardieri 'Eskdale'
TUSOCK GRASS *



Scaevola sp.
FAN FLOWER



Viola hederacea
NATIVE VIOLET

NOTE:
* SOURCED FROM MOORABOOL SHIRE COUNCIL

SURFACE FINISHES & FURNITURE



TIMBER DECKING



LIGHT COLOURED TILE



LIGHT COLOURED CONCRETE



CUSTOM BENCH SEAT



MECWACARE - COWIE STREET, BALLAN
MATERIAL PALETTE & FURNITURE

CLIENT	MECWACARE	DRAWING NUMBER	LP201
ARCHITECT	PTA ARCHITECTURE	ISSUE	8
SITE IMAGE JOB NUMBER	SM22481	DATE	01.05.2022