



ATTACHMENTS

**Development Assessment Committee
Meeting**

Under Separate Cover

Wednesday, 14 December 2022

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7.1	PA2021132 - Multi-Lot Staged Subdivision, Creation and Variation of Easements and Removal of Vegetation at 174 Mortons Road, Pentland Hills	
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Underbank Urban Design Package

Underbank - Park View - Stage 24-29

Client

Kataland Investments Pty Ltd

Issued

10.06.2022



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Site Context Plan	3
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Indicative Subdivision Plan - Stage 24-29	6
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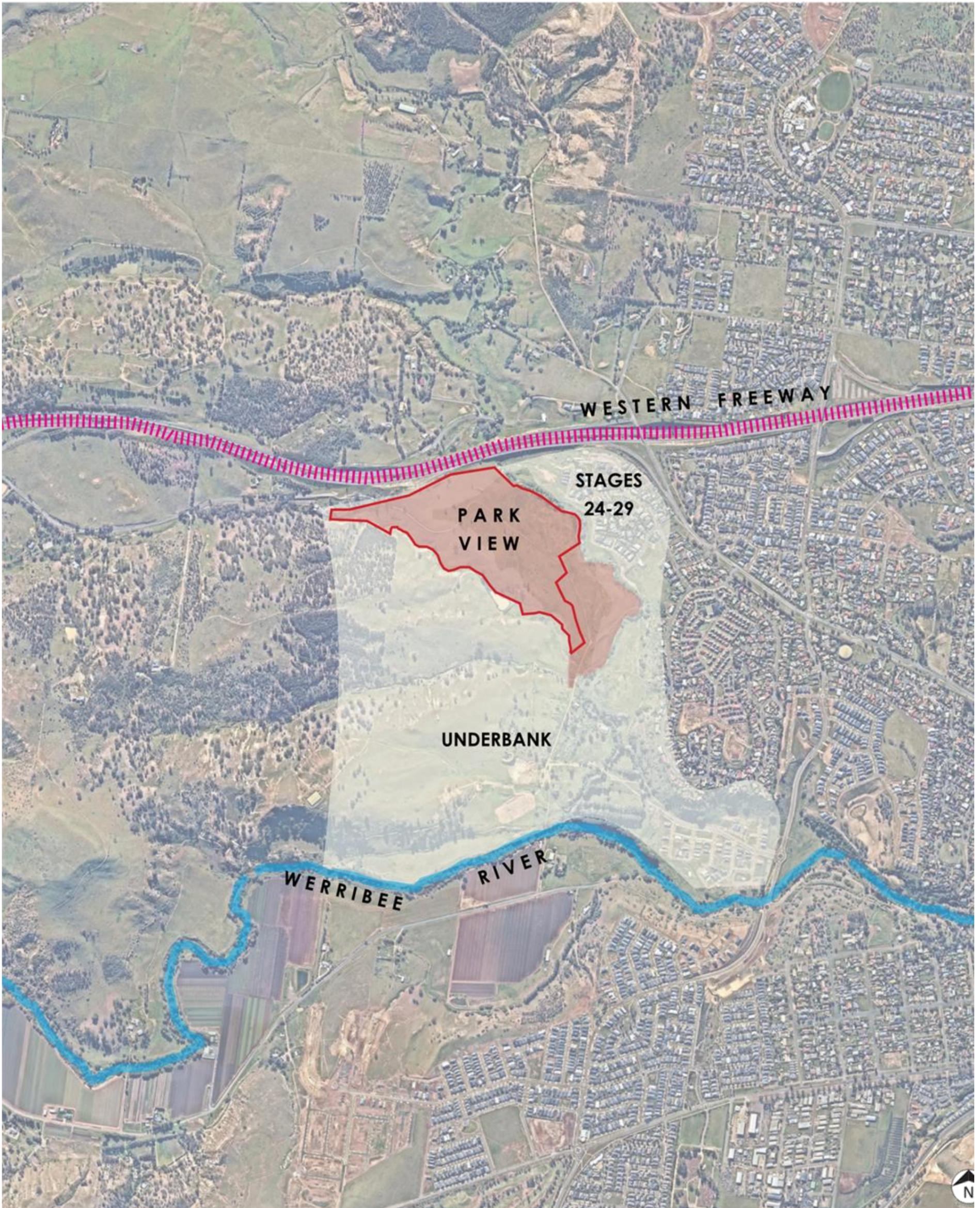


Figure 1. Site Context Plan (NTS)

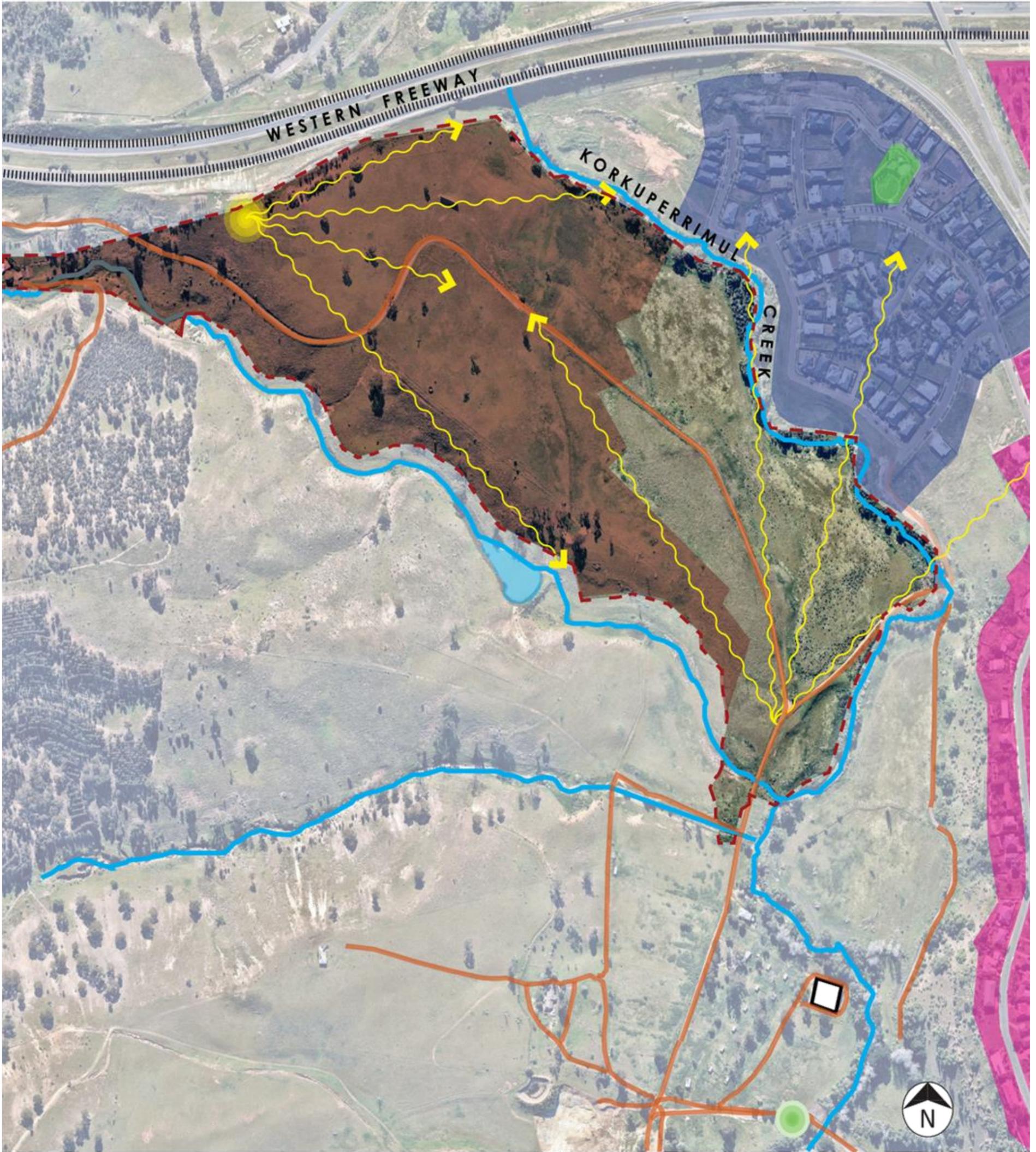
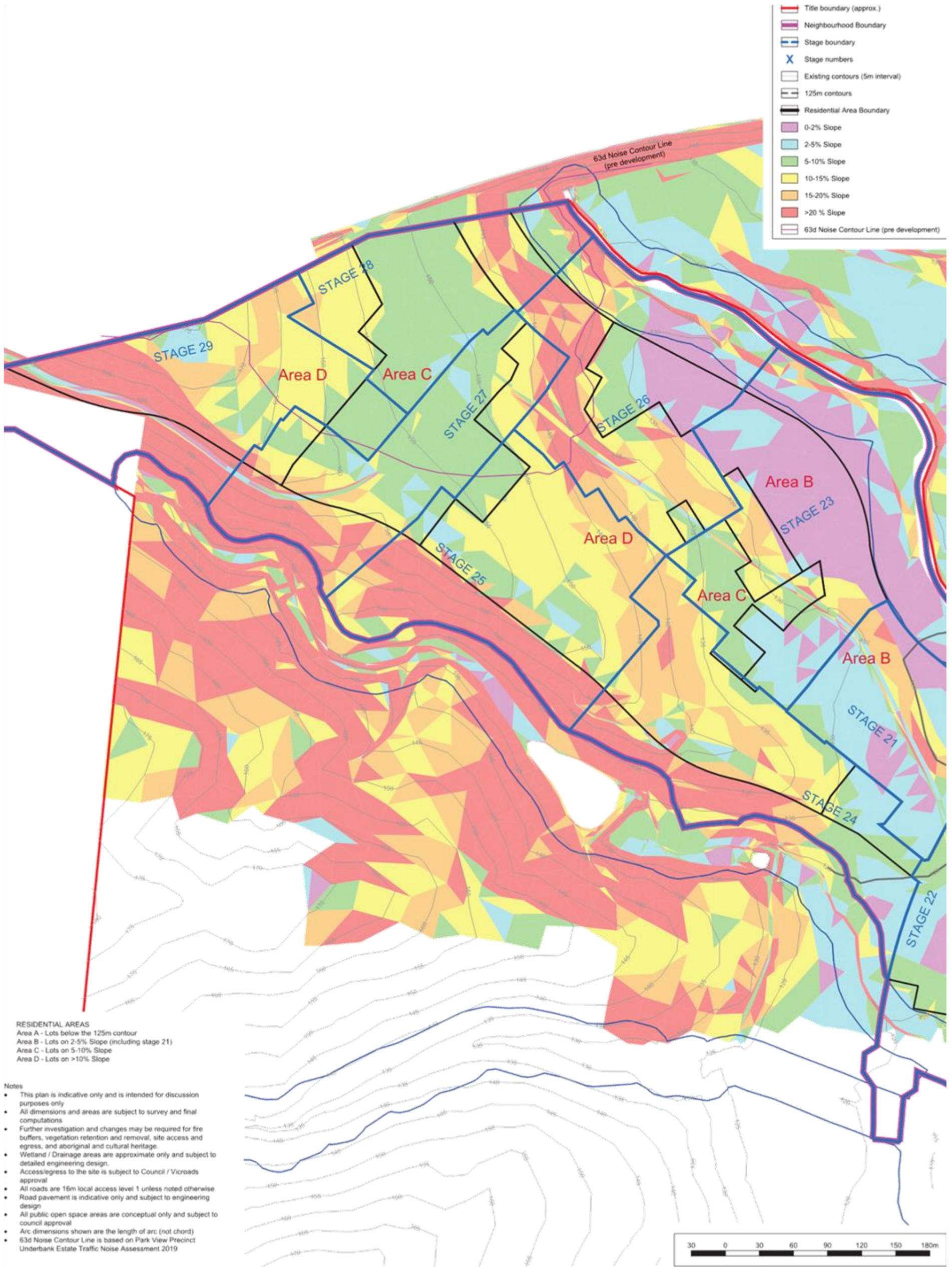


Figure 2. Site Analysis Plan (NTS)

LEGEND

- Extent of Works
- Existing Freeway
- Watercourse
- Existing Road (gravel)
- Heritage Tree
- Existing Significant Heritage Building
- Existing Park
- Existing Dam / Water-body
- Underbank Rosehill Village Existing Residential
- Existing Residential Interface
- Existing Views
- High Point of Site

7.1.1 Underbank - Park View



RESIDENTIAL AREAS
 Area A - Lots below the 125m contour
 Area B - Lots on 2-5% Slope (including stage 21)
 Area C - Lots on 5-10% Slope
 Area D - Lots on >10% Slope

- Notes**
- This plan is indicative only and is intended for discussion purposes only
 - All dimensions and areas are subject to survey and final computations
 - Further investigation and changes may be required for fire buffers, vegetation retention and removal, site access and egress, and aboriginal and cultural heritage
 - Wetland / Drainage areas are approximate only and subject to detailed engineering design
 - Access/egress to the site is subject to Council / Vicroads approval
 - All roads are 16m local access level 1 unless noted otherwise
 - Road pavement is indicative only and subject to engineering design
 - All public open space areas are conceptual only and subject to council approval
 - Arc dimensions shown are the length of arc (not chord)
 - 63d Noise Contour Line is based on Park View Precinct Underbank Estate Traffic Noise Assessment 2019

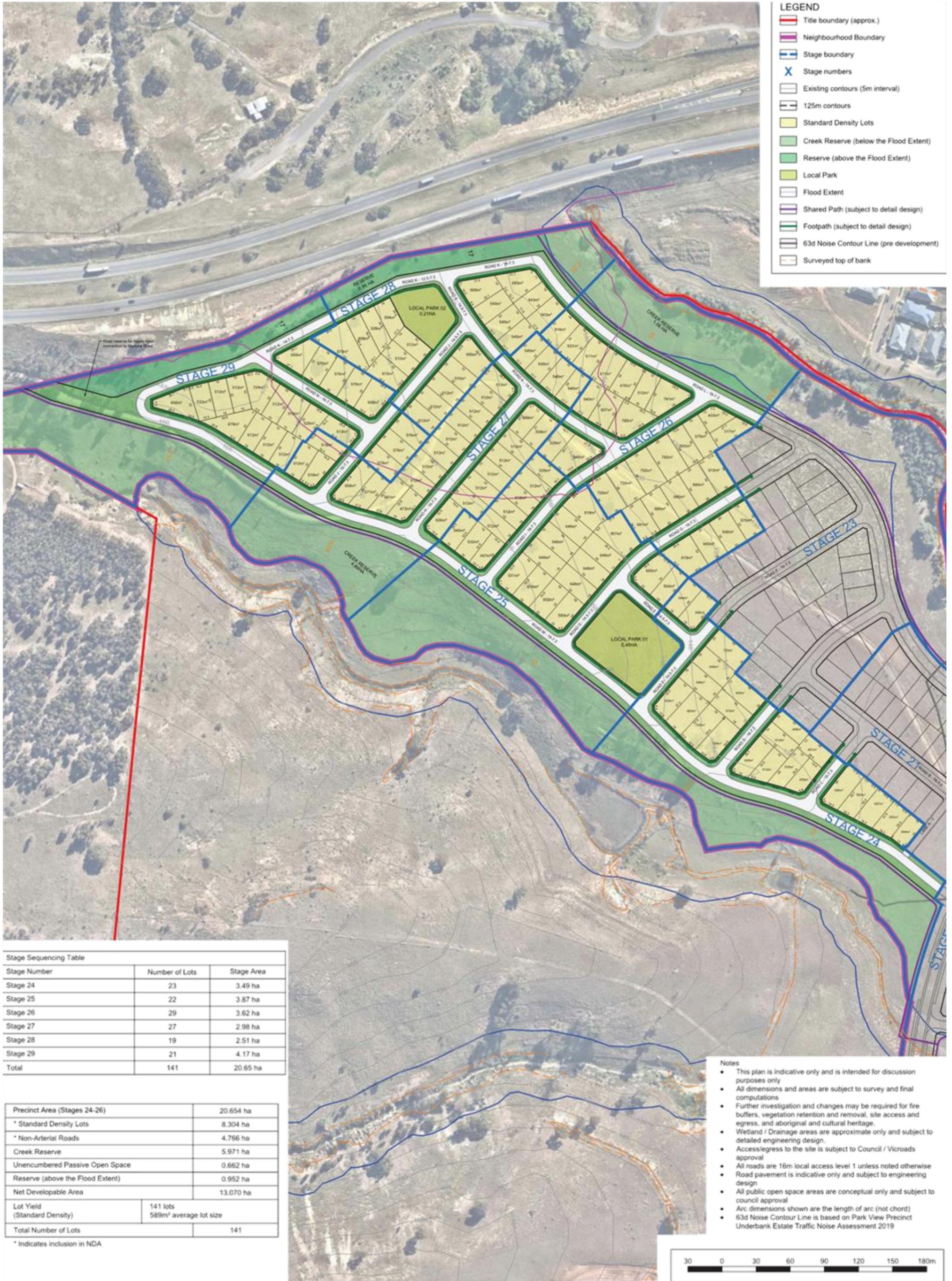


Slope Analysis Plan - Stage 24-29
 Underbank - Park View
 Kataland

Date: 09.06.21		Version No: 03		
Job No: 2000150		Scale (A1): 1:1500 (A3): 1:3000		
Version	Date	Description	Drafted	Approved
01	11.05.21	Initial Issue	MJ	WEB
02	13.05.21	Amendments to suit clients comments	MJ	WEB
03	06.06.21	Updated to match Submission Master Plan	MJ	WEB

Slipferry Road, Malvern, Victoria 3144

K:\JOBS DATA\2000150 - UNDERBANK - BACCHUS MARSH_UD\CAD\2000150_UD_BAS01.dwg

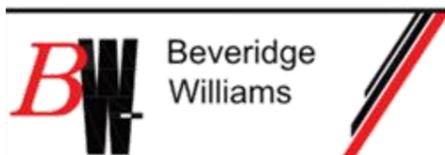


Stage Number	Number of Lots	Stage Area
Stage 24	23	3.49 ha
Stage 25	22	3.87 ha
Stage 26	29	3.62 ha
Stage 27	27	2.98 ha
Stage 28	19	2.51 ha
Stage 29	21	4.17 ha
Total	141	20.65 ha

Precinct Area (Stages 24-26)	20.654 ha
* Standard Density Lots	8.304 ha
* Non-Arterial Roads	4.766 ha
Creek Reserve	5.971 ha
Unencumbered Passive Open Space	0.662 ha
Reserve (above the Flood Extent)	0.952 ha
Net Developable Area	13.070 ha
Lot Yield (Standard Density)	141 lots 589m ² average lot size
Total Number of Lots	141

* Indicates inclusion in NDA

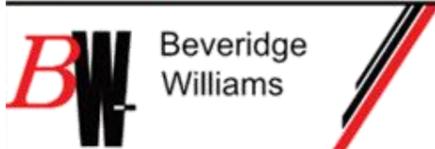
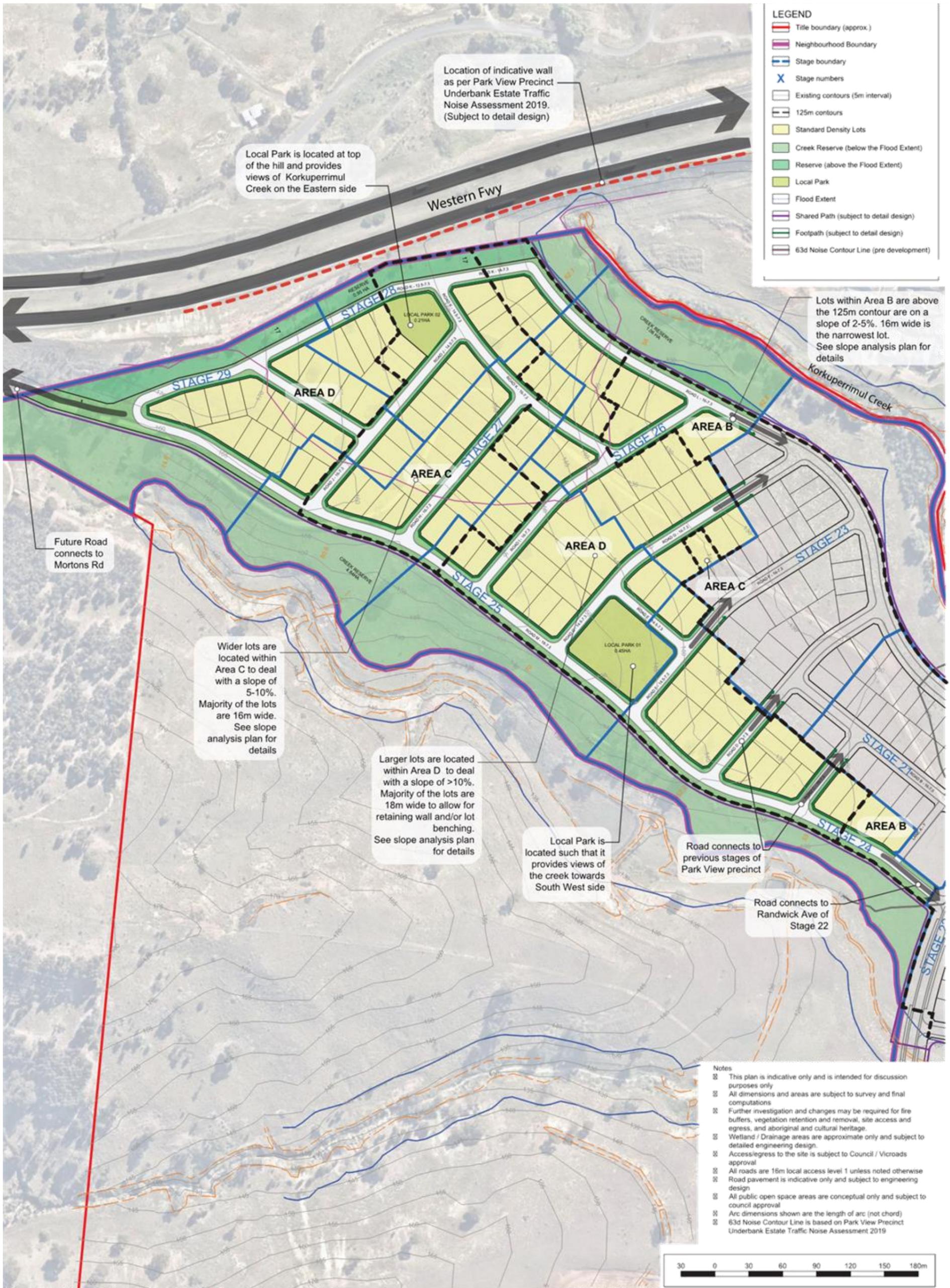
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 - Arc dimensions shown are the length of arc (not chord)
 - 63d Noise Contour Line is based on Park View Precinct Underbank Estate Traffic Noise Assessment 2019



Indicative Subdivision & Staging Plan - Stage 24-29
Underbank - Park View
Kataland

Version	Date	Description	Drafted	Approved
01	11.08.21	Final Issue	MJ	WEB
02	11.08.21	Amendments to suit clients comments	MJ	WEB
03	09.01.21	Amendments to suit clients comments	MJ	WEB
04	09.08.21	Amendments to suit engineering and Council comments	MJ	WEB

Date: 09.06.21
Version No: **04**
Job No: 2000150
Scale (A1): 1:1500
(A3): 1:3000



Design Response Plan - Stage 24-29
 Underbank - Park View
 Kataland

Date: 09.06.21		Version No: 03	
01	11.05.21	Final Issue	MJ WEB
02	15.06.21	Amendments to suit clients comments	MJ WEB
03	26.02.21	Amendments to match ISP	MJ WEB
Version:	Date:	Description:	Drafted / Approved:

Job No: 2000150
 Scale (A1): 1:1500
 (A3): 1:3000

This document is prepared by Beveridge Williams for exclusive use of our clients.

- Surveying
- Asset Recording
- Civil Engineering
- Infrastructure Engineering
- Traffic & Transport Engineering
- Environmental Consulting
- Water Resource Engineering
- Strata Certification (NSW)
- Town Planning
- Urban Design**
- Landscape Architecture
- Project Management

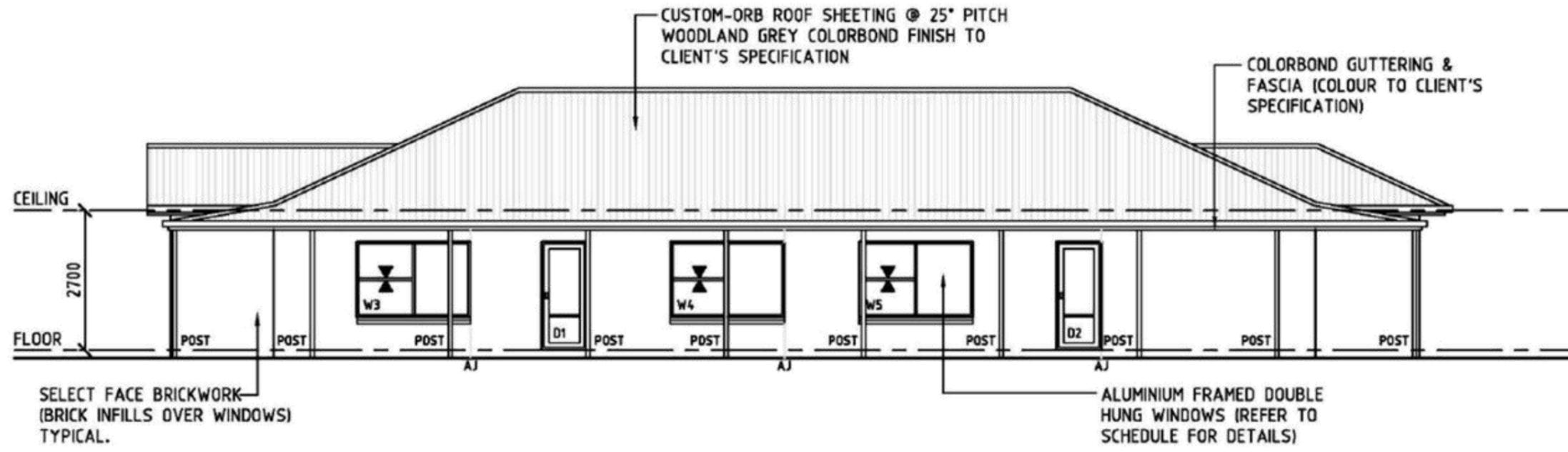


**Melbourne
(Head Office)**

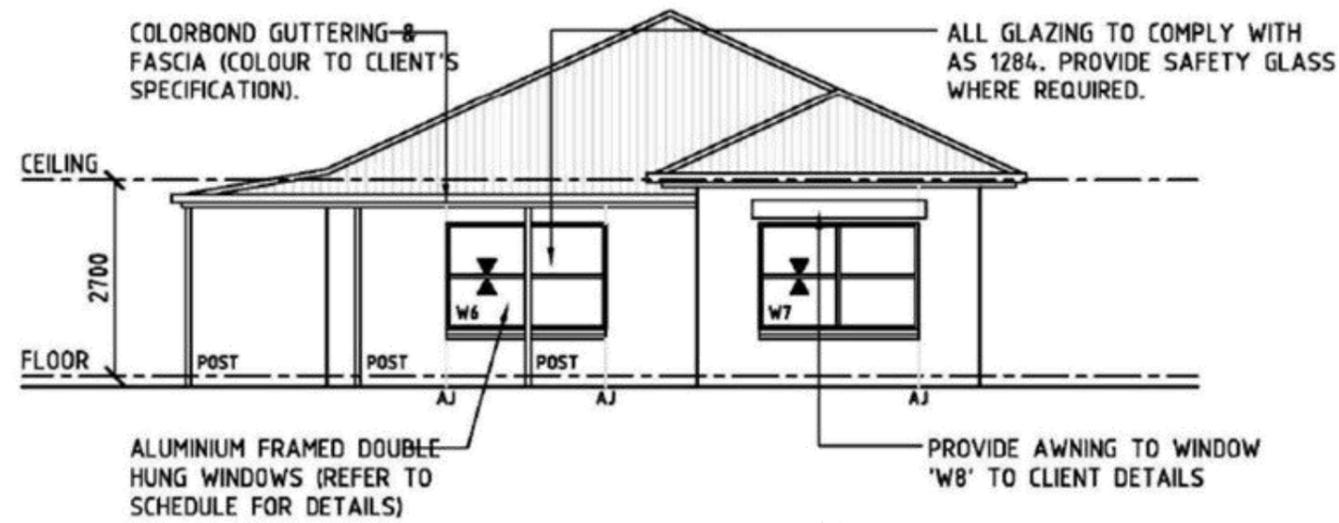
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www.beveridgewilliams.com.au



Beveridge Williams

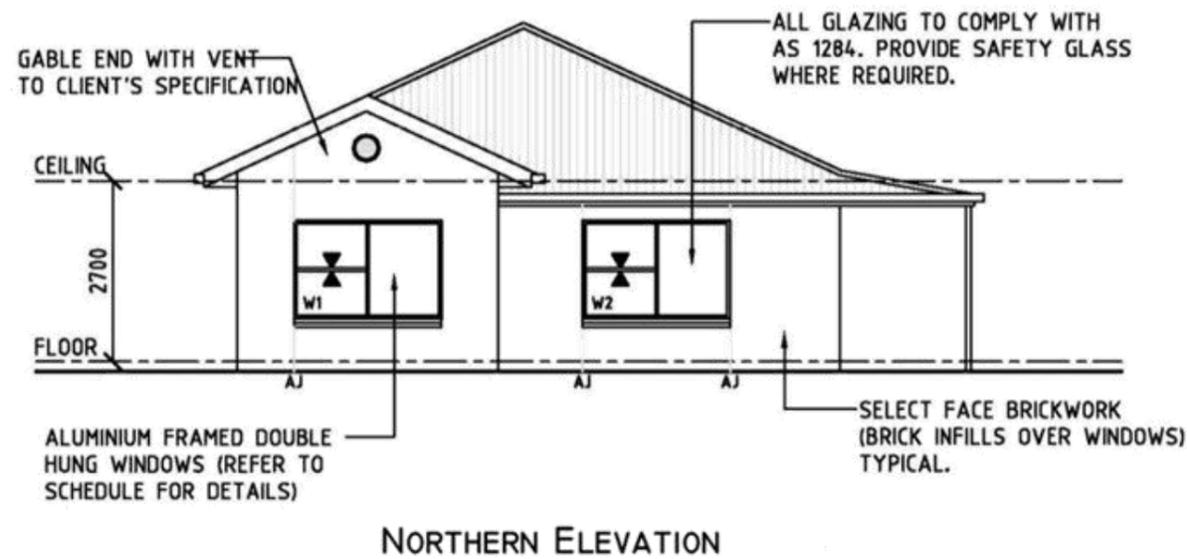
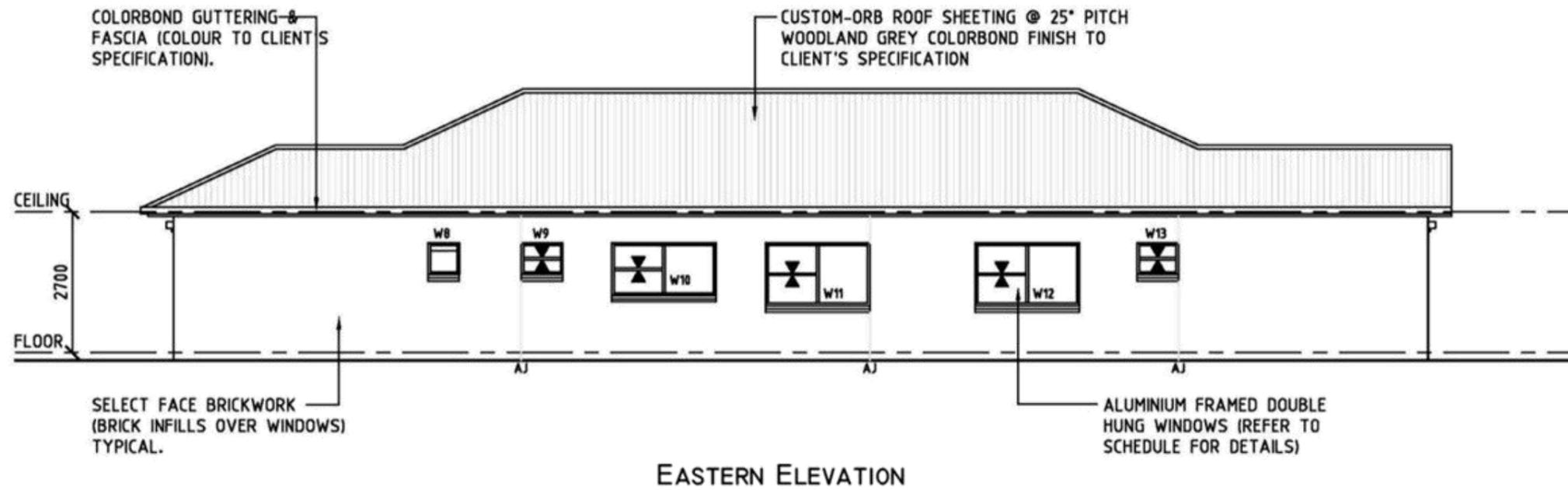


WESTERN ELEVATION



SOUTHERN ELEVATION

<p>Sheet No. 2 of 3 Sheet Size: A3 Job Ref : 22750-01 Drawing No. PP4BR-02 Date: April, 2022</p>	<p>Client: Karl Begbie Tierneys Road Dunnstown</p>	<p>Proposal: Proposed Dwelling</p>	<p>Elevations (1) Revision 1 Do Not Scale</p>
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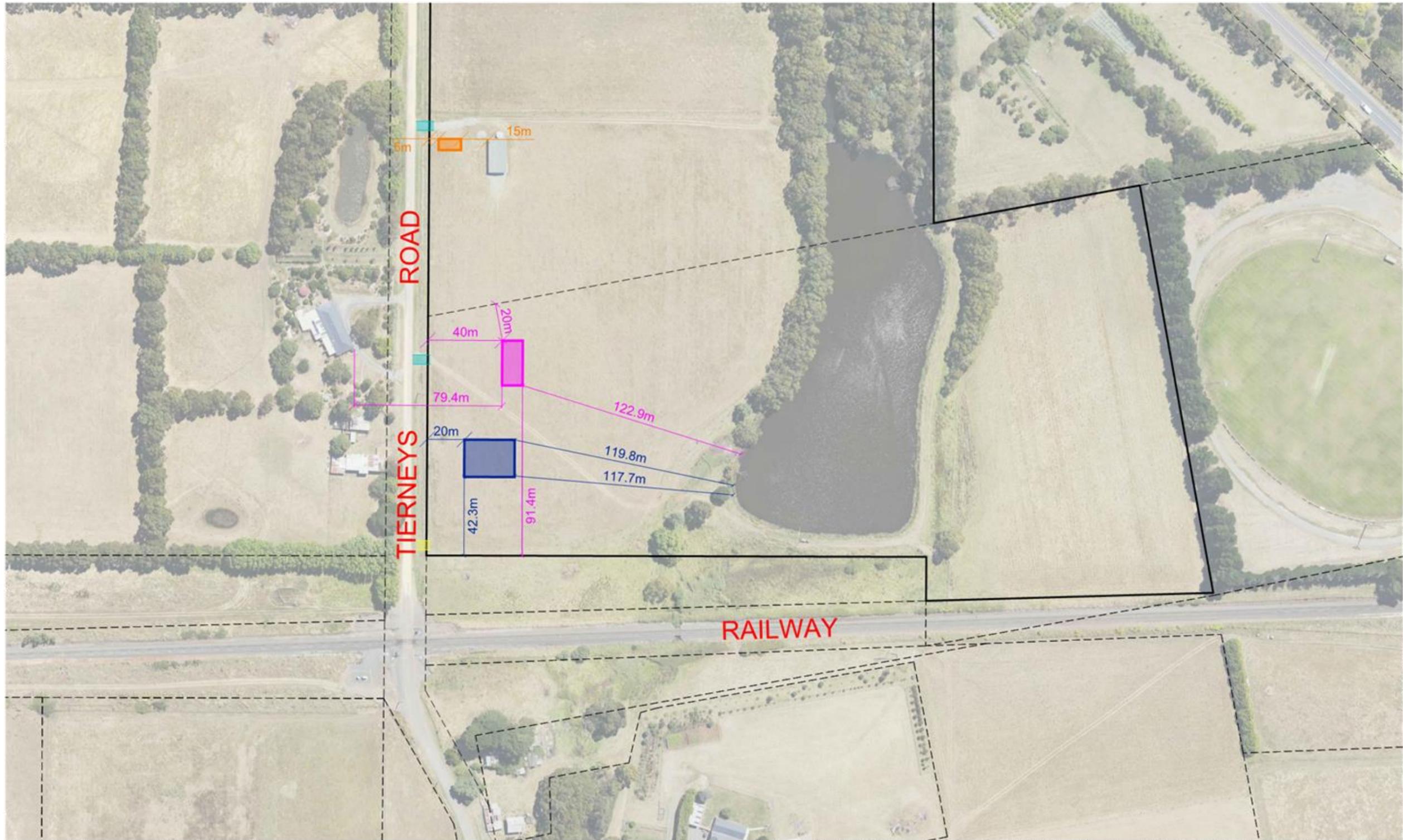


Materials & Colours

- Bricks Selkirk – Laneway Vibe Tumbled
- Colorbond Roofing and Trims – Woodland Grey
- Windows – Woodland Grey

<p>Sheet No. 3 of 3 Sheet Size: A3 Job Ref : 22750-01 Drawing No. PP4BR-03 Date: April, 2022</p>	<p>Client: Karl Begbie Tierneys Road Dunsttown</p>	<p>Proposal: Proposed Dwelling</p>	<p>Elevations (2) Revision 1 Do Not Scale</p>
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M.G.A. 2020
 ZONE 54
 (D.C.M.B.)



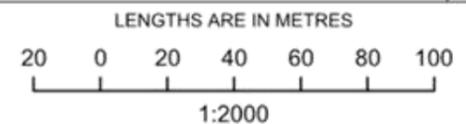
Rev.	Revision	Date
-	-	-

- PROPOSED DWELLING LOCATION (24m x 11m)
- PROPOSED EFFLUENT LOCATION (27m x 20m)
- PROPOSED HAY SHED (12.18m x 6m)
- ACCESS VIA EXISTING GATE LOCATION
- ACCESS VIA PROPOSED GATE LOCATION

PLAN OF PROPOSED DWELLING & EFFLUENT

TIERNEYS ROAD
 DUNNSTOWN, 3352

Job Number: 22750-01
 Sheet: 1 of 1
 Date of Survey: N/A
 Date of Issue: 26/07/2022

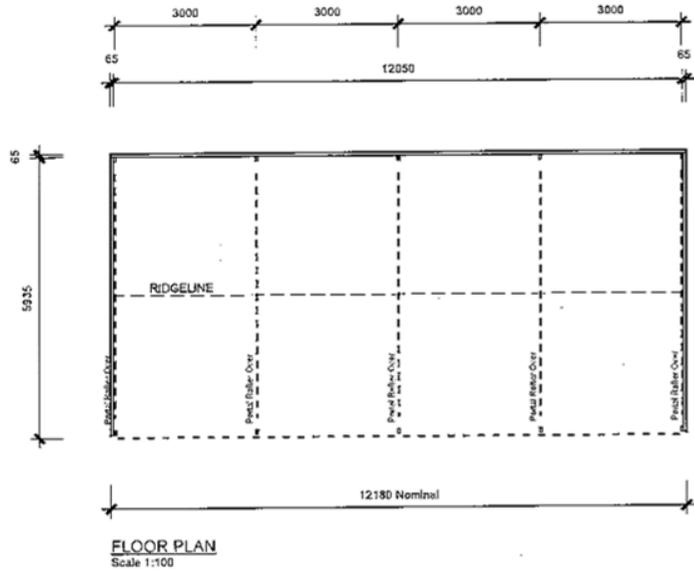


At Size
A3

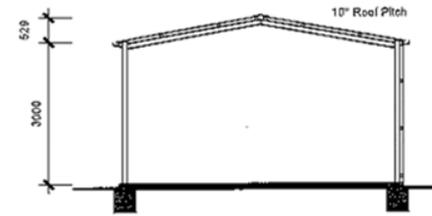
Survey: N/A Drawn: AD Checked: JP

DWG: **22750-01-PP** REV: **2**

Cardno
 ABN 11 125 568 461
 Level 1, 27-31 Myers Street (PO Box 1137) Geelong, VIC Australia 3220
 Phone +61 3 5202 4600 Fax +61 3 5202 4691
 Email: victoria@cardno.com.au Web: www.cardno.com



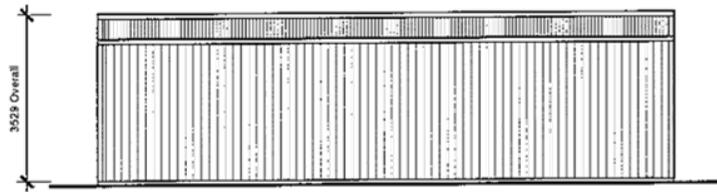
- Colour Coated Ridge Flashing (Colour to be Specified)
- Colour Coated Corrugated Roof Cladding (Colour to be Specified)
- Colour Coated Quad Gutter (Colour to be Specified)
- Tophat Purlins to Engineers Specification
- RHS Rafter to Engineers Specification
- Colour Coated Rafters/Wall Cladding (Colour to be Specified)
- Tophat Girts to Engineers Specification
- RHS Columns to Engineers Specification
- Slab By Others to Engineers Specification
- Foundations to Engineers Specification



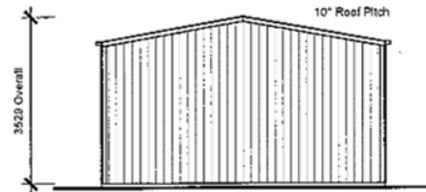
DOOR SCHEDULE			
MARK	DESCRIPTION	SIZE	COLOUR

Approved by Client: _____ Date: ____/____/____

SAFETY STEEL STRUCTURES 34-50 NATHAN ROAD DAYDENONG SOUTH VIC 3175 TELEPHONE (03)5700 7711 FACSIMILE (03)8706 7392	Title: Floorplan
	Author: Michael Grech Project: Proposed Fam Shed
Scale: 1:100 Drawing No.: 1824286	Sheet No.: A1.1
This drawing remains the intellectual property of Safety Steel Structures and shall be used only as authorised by Safety Steel Structures.	Rev: - Page: A3



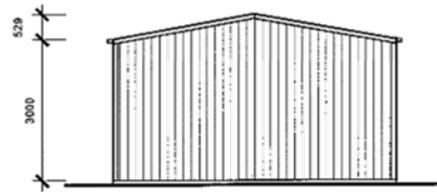
ELEVATION A
Scale 1:100



ELEVATION B
Scale 1:100



ELEVATION C
Scale 1:100

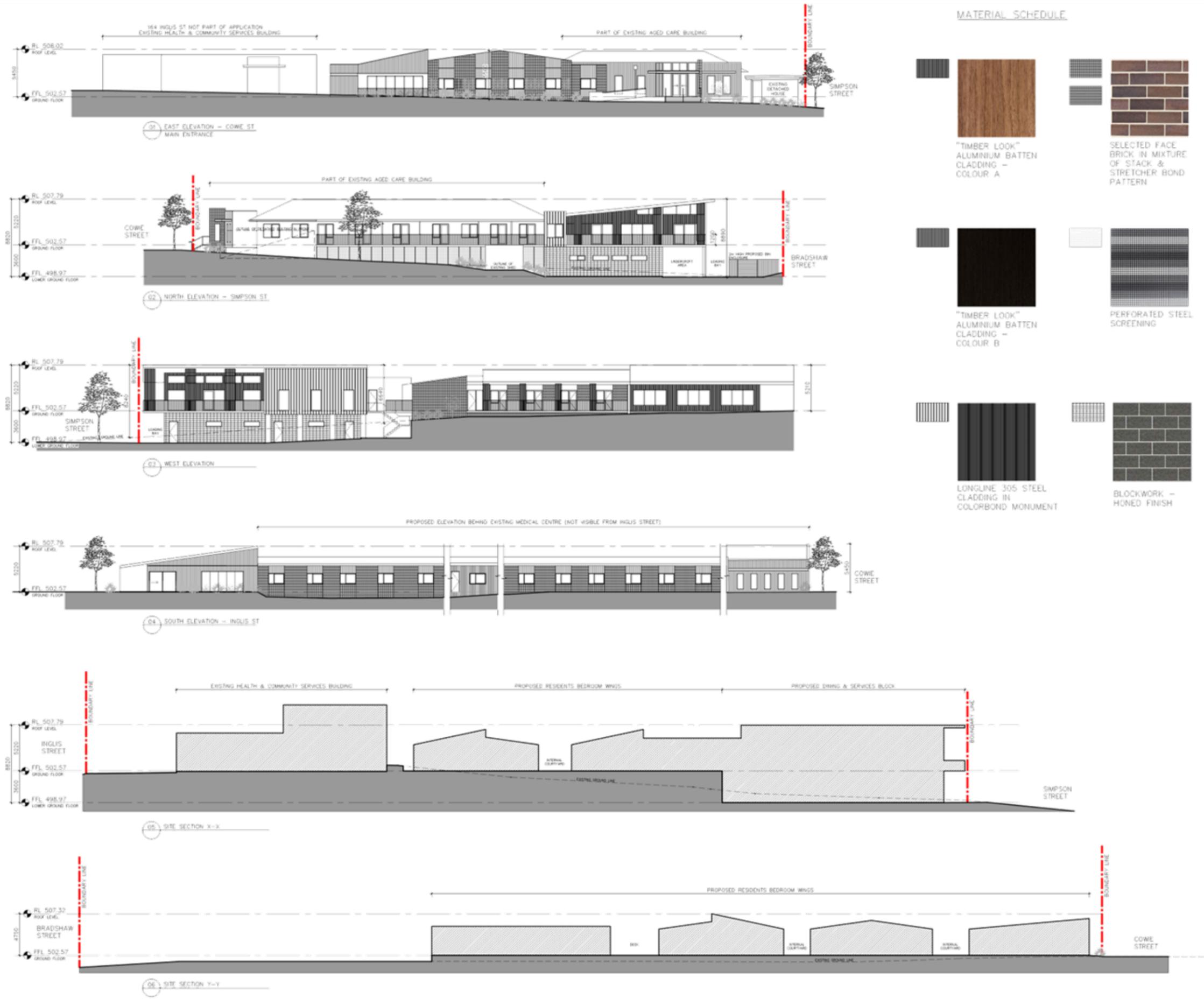


ELEVATION D
Scale 1:100

- Colour Coated Ridge Flashing (Colour to be Specified)
- Colour Coated Barge Flashing (Colour to be Specified)
- Colour Coated Corrugated Roof Cladding (Colour to be Specified)
- Colour Coated Quad Gutter (Colour to be Specified)
- Colour Coated Rolpanel Wall Cladding (Colour to be Specified)

Approved by Client: _____ Date: ____ / ____ / ____

 SAFETY STEEL STRUCTURES 34-50 NATHAN ROAD DANDENONG SOUTH VIC 3175 TELEPHONE (03)2708 7711 FACSIMILE (03)9708 7992	Issue Status:	Drawing Title: Elevations			
	Date:	Client:			
	Drawn: Michael Grech	Project:	Proposed Farm Shed		
	Checked:	Site:			
	Scale: 1:100	Project No:	1824286	Drawing No:	A2.1
	Plot Date:	Rev:	-	Page:	A3
This drawing remains the intellectual property of Safety Steel Structures and shall be used only as authorised by Safety Steel Structures					



MATERIAL SCHEDULE

	"TIMBER LOOK" ALUMINIUM BATTEN CLADDING - COLOUR A		SELECTED FACE BRICK IN MIXTURE OF STACK & STRETCHER BOND PATTERN
	"TIMBER LOOK" ALUMINIUM BATTEN CLADDING - COLOUR B		PERFORATED STEEL SCREENING
	LONGLINE 305 STEEL CLADDING IN COLORBOND MONUMENT		BLOCKWORK - HONED FINISH

PLANNING

REV	DETAIL	DATE
-----	--------	------

PROJECT
MECWACARE BALLAN AGED CARE
PROPOSED REDEVELOPMENT

ADDRESS
33 COWE ST, BALLAN VIC 3342

SUBJECT
MECWACARE

DRAWING TITLE
ELEVATIONS & SITE SECTIONAL DIAGRAMS

DATE
MAY 2022

SCALE
1:200

PROJECT NO.
TK/50

DESIGNER
PTA

REGION
VIC

TP09

PTA ARCHITECTURE PTY. LTD
140-142 St Leonards Road, Flemington, Victoria, 3021

Verify all dimensions and levels of site before commencing any work. Do not scale drawings. If given dimensions only. Report any discrepancies. This office. Please encourage together with documentation, specifications and computer. Make all reports clearly. All work shall comply with current NCC and all relevant SAA code.

MECWACARE - COWIE STREET, BALLAN

LANDSCAPE ARCHITECTURAL PACKAGE

JUNE 2022

DRAWING INDEX

LP000	COVER SHEET
LP001	SITE PLAN
LP002	EXISTING SITE PHOTOS
LP101	OVERALL LANDSCAPE PLAN
LP102	LANDSCAPE PLAN 01
LP103	LANDSCAPE PLAN 02
LP201	MATERIAL PALETTE & FURNITURE

SITE IMAGE



Site Image Landscape Architects (VIC) 149 Drummond Street, Carlton VIC 3053 Australia | T +61 3 9329 4633



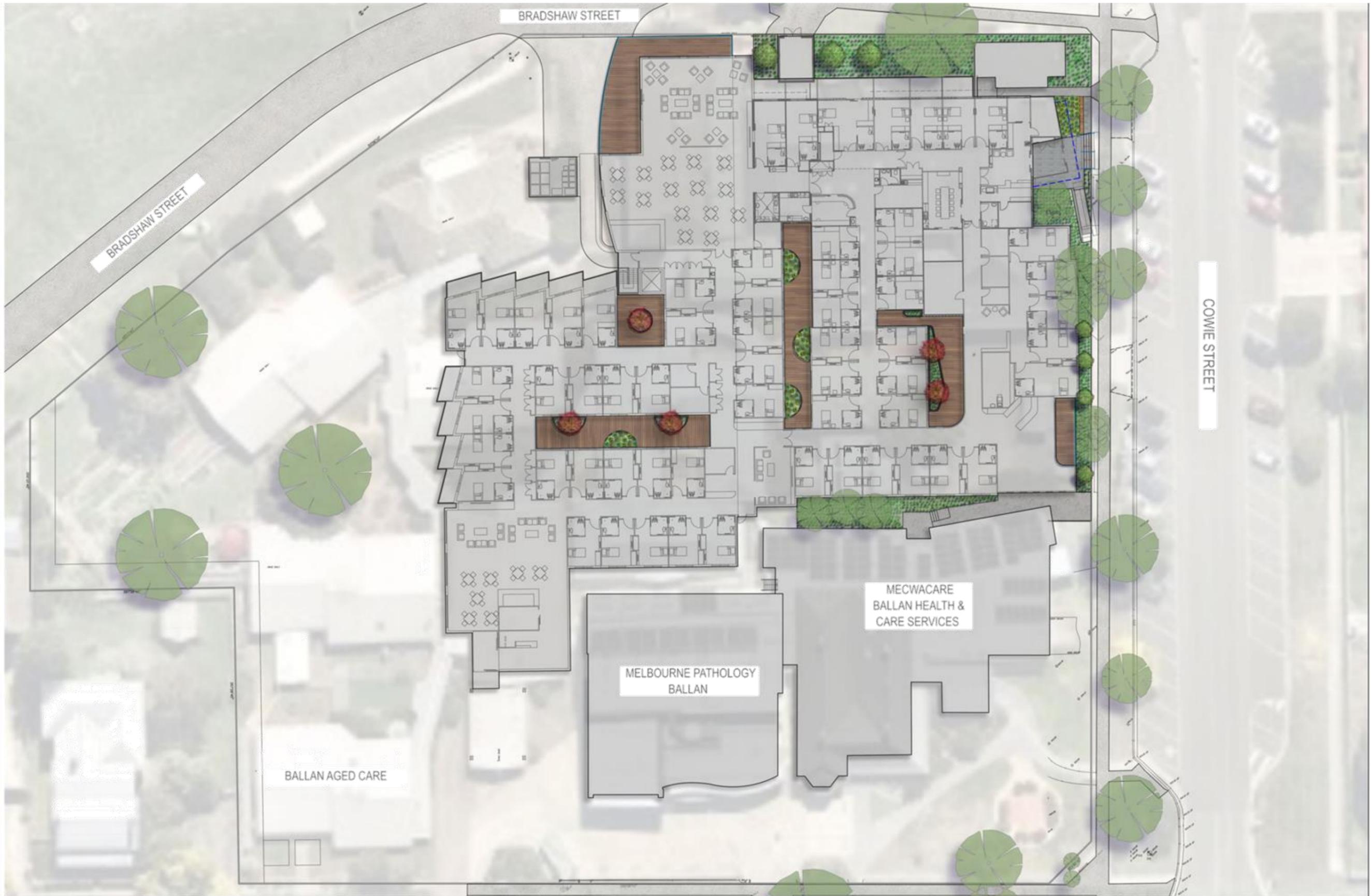
MECWACARE - COWIE STREET, BALLAN
SITE PLAN



CLIENT	MECWA CARE	DRAWING NUMBER	LP001
ARCHITECT	PTA ARCHITECTURE	ISSUE	8
SITE IMAGE JOB NUMBER	SM22481	DATE	01/08/2022

EXISTING SITE PHOTOS





MECWACARE - COWIE STREET, BALLAN
OVERALL LANDSCAPE PLAN

SCALE 1:200 @ A1 | 1:400 @ A3
0 2 4 6 12 20M

CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

MECWA CARE	DRAWING NUMBER	LP101
PTA ARCHITECTURE	ISSUE	8
SM22481	DATE	01.08.2022



LEGEND

- | | | |
|---|---|---|
|  EXISTING TREE TO RETAIN |  EVERGREEN TREE |  TIMBER DECKING |
|  BUILDING LEVEL |  DECIDUOUS FEATURE TREE |  COLOURED CONCRETE PAVING |
|  BUILDING OVER |  LOW PLANTING |  LIGHT COLOURED TILE PAVEMENT |
|  SIGNAGE |  FEATURE LOW PLANTING |  CUSTOM TIMBER BENCH SEAT |
| |  RAISED BLOCKWORK PLANTERS | |



MECWACARE - COWIE STREET, BALLAN
LANDSCAPE PLAN 01



CLIENT
ARCHITECT
SITE IMAGE JOB NUMBER

MECWACARE
PTA ARCHITECTURE
SM22481

DRAWING NUMBER	LP102
ISSUE	8
DATE	01.05.2022



LEGEND

- | | | |
|---|---|---|
|  EXISTING TREE TO RETAIN |  EVERGREEN TREE |  TIMBER DECKING |
|  BUILDING LEVEL |  DECIDUOUS FEATURE TREE |  COLOURED CONCRETE PAVING |
|  BUILDING OVER |  LOW PLANTING |  LIGHT COLOURED TILE PAVEMENT |
|  SIGNAGE |  FEATURE LOW PLANTING |  CUSTOM TIMBER BENCH SEAT |
| |  RAISED BLOCKWORK PLANTERS | |



MECWACARE - COWIE STREET, BALLAN
LANDSCAPE PLAN 02



MECWA CARE	DRAWING NUMBER	LP102
PTA ARCHITECTURE	ISSUE	8
SM22481	DATE	01.05.2022

PLANTING

TREES



Acer dissectum
MAPLE



Bursaria spinosa
SWEET BURSARIA *



Elaeocarpus reticulatis
BLUEBERRY ASH



Lagostroemia indica
CREPE MYRTLE



Magnolia 'Little Gem'
DWARF MAGNOLIA



Pyrus 'capital'
CAPITAL PEAR



Tristaniopsis laurina
WATER GUM

MASS PLANTING



Acacia 'Limelight'
LIMELIGHT ACACIA



Camellia sasanqua
SMALL LEAF CAMELLIA



Correa reflexa
DUSKY BELLS *



Choisya ternata
MEXICAN ORANGE BLOSSOM



Lomandra longifolia 'Tanika'
LOMANDRA TANIKA *



Poa labillardieri 'Eskdale'
TUSOCK GRASS *



Scaevola sp.
FAN FLOWER



Viola hederacea
NATIVE VIOLET

NOTE:
* SOURCED FROM MOORABOOL SHIRE COUNCIL

SURFACE FINISHES & FURNITURE



TIMBER DECKING



LIGHT COLOURED TILE



LIGHT COLOURED CONCRETE



CUSTOM BENCH SEAT



MECWACARE - COWIE STREET, BALLAN
MATERIAL PALETTE & FURNITURE

CLIENT	MECWACARE	DRAWING NUMBER	LP201
ARCHITECT	PTA ARCHITECTURE	ISSUE	8
SITE IMAGE JOB NUMBER	SM22481	DATE	01.08.2022