



ATTACHMENTS

**Development Assessment Committee
Meeting**

Under Separate Cover

Wednesday, 19 October 2022

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7.3	PA2022013 - Variation of Restrictive Covenant AK843052U at 25 View Gully Road, Hopetoun Park	
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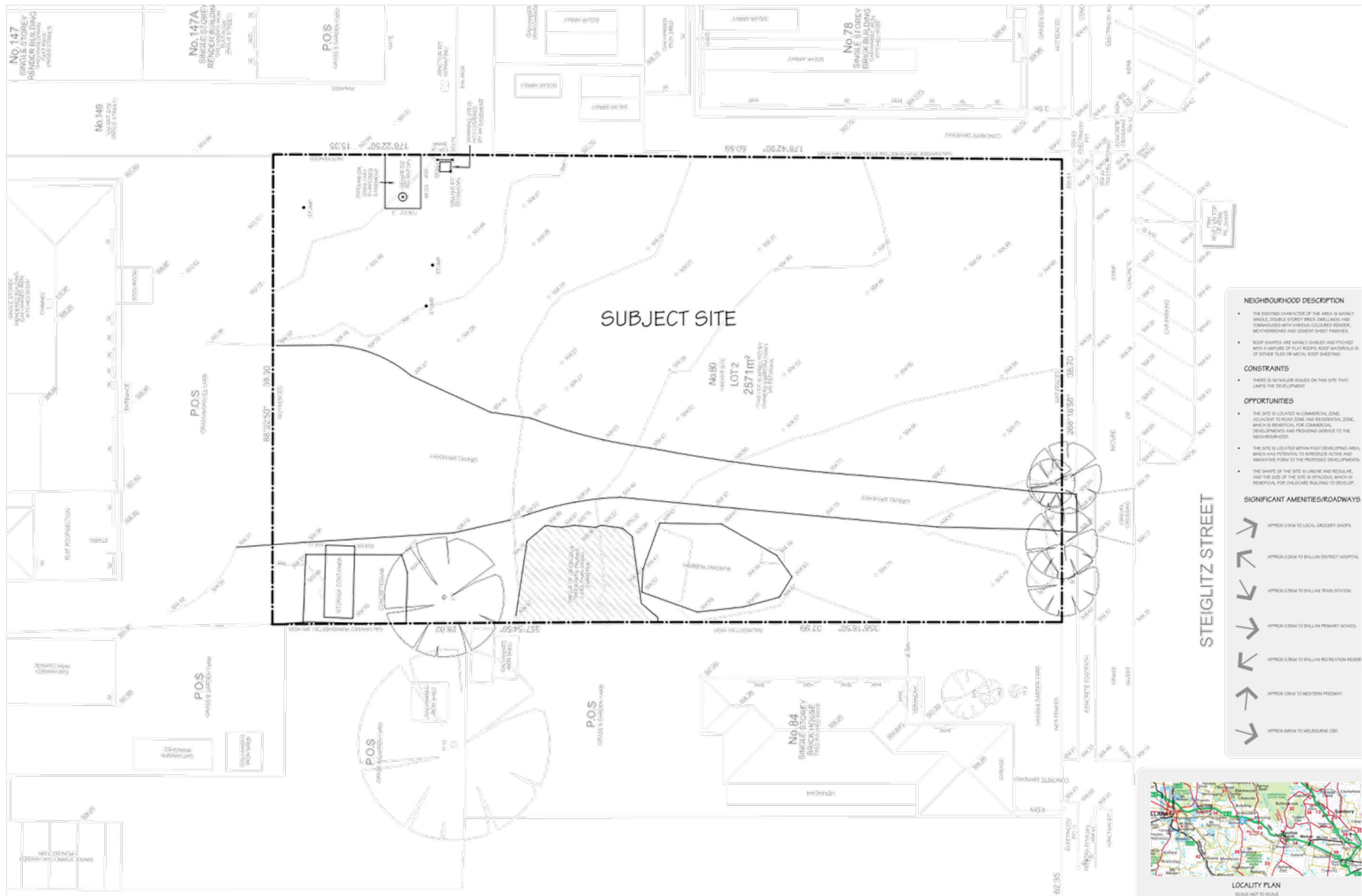
PROPOSED CHILDCARE - VIEW FROM STEIGLITZ STREET



PROPOSED MEDICAL CLINIC - VIEW FROM CARPARK

PROPOSED CHILDCARE & MEDICAL CLINIC @ 80 STEIGLITZ STREET, BALLAN VIC 3342

SHEET NUMBER	SHEET NAME	REV	REV DATE
TP001	COVER SHEET	01	31.05.22
TP002	SITE CONTEXT	01	31.05.22
TP003	DESIGN RESPONSE	01	31.05.22
TP004	GROUND FLOOR	01	31.05.22
TP005	ELEVATION SET - CHILDCARE	01	31.05.22
TP006	ELEVATION SET - MEDICAL CLINIC	01	31.05.22
TP007	SECTIONS	01	31.05.22
TP008	STREETSCAPE	01	31.05.22
TP009	SHADOW DIAGRAMS	01	31.05.22



NEIGHBOURHOOD DESCRIPTION

- THE EXISTING CHARACTER OF THE AREA IS MAINLY SINGLE, DOUBLE STOREY BRICK DWELLINGS AND TOWNHOUSES WITH VARIOUS COLOURED RENDER, WEATHERBOARD AND CEMENT SHEET FINISHES.

CONSTRAINTS

- THERE IS NO MAJOR ISSUES ON THIS SITE THAT LIMITS THE DEVELOPMENT

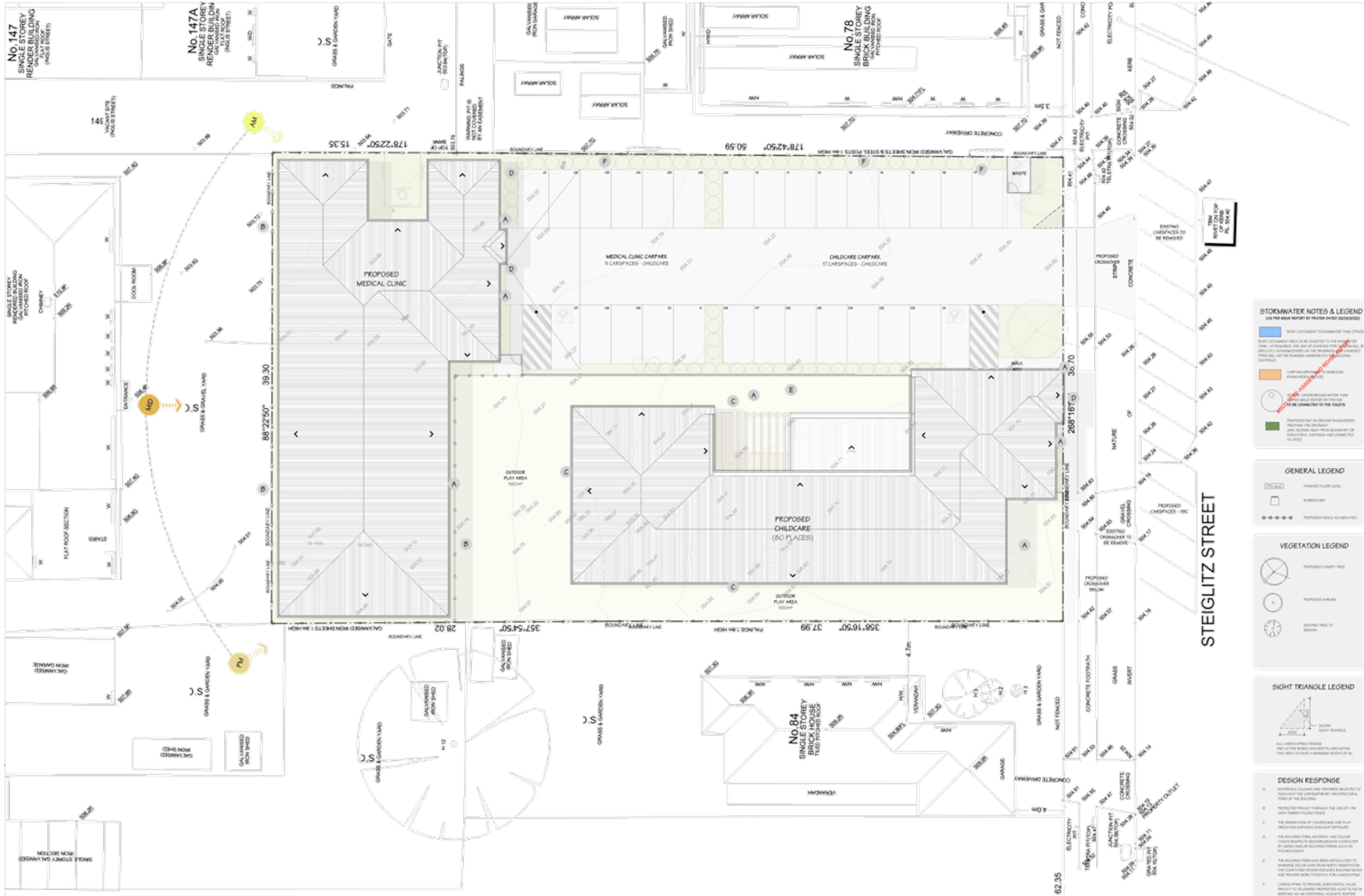
OPPORTUNITIES

- THE SHAPE OF THE SITE IS LINEAR AND REGULAR, AND THE SIZE OF THE SITE IS SPACIOUS, WHICH IS BENEFICIAL FOR CHILD CARE BUILDING TO DEVELOP.

SIGNIFICANT AMENITIES/ROADWAYS



LOCALITY PLAN
SCALE: NOT TO SCALE



STORMWATER NOTES & LEGEND
(AS PER WARD REPORT BY PRATER DATED 20200302)

- ROOF CATCHMENT TO KANAWATER TRAIL (PROPOSED)
- ROOF CATCHMENT AREA TO BE DIVERTED TO THE KANAWATER TRAIL - IF REQUIRED, THE USE OF DRAINAGE PIPES AND MANHOLES WILL BE EXPLICITLY ACKNOWLEDGED ON THE DRAWINGS. CHANGED PIPES WILL NOT BE RUNNED UNDER A BUILDING FOOTPRINT.
- CARPARK/DRIVEWAY/ROADSIDE/PAVEMENT/ROADSIDE
- UNDERGROUND WATER TANK (AS PER WARD REPORT BY PRATER - TO BE CONNECTED TO THE TOILETS)
- PROPOSED DRAINAGE IN-OR-OUTLINE KANAWATER TRAIL (TREATING THE DRAINAGE) (AS PER WARD REPORT BY PRATER - TO BE CONNECTED TO THE TOILETS)

GENERAL LEGEND

- FINISHED FLOOR LEVEL
- KURDISH BAY
- PROPOSED FENCE AS NOTED

VEGETATION LEGEND

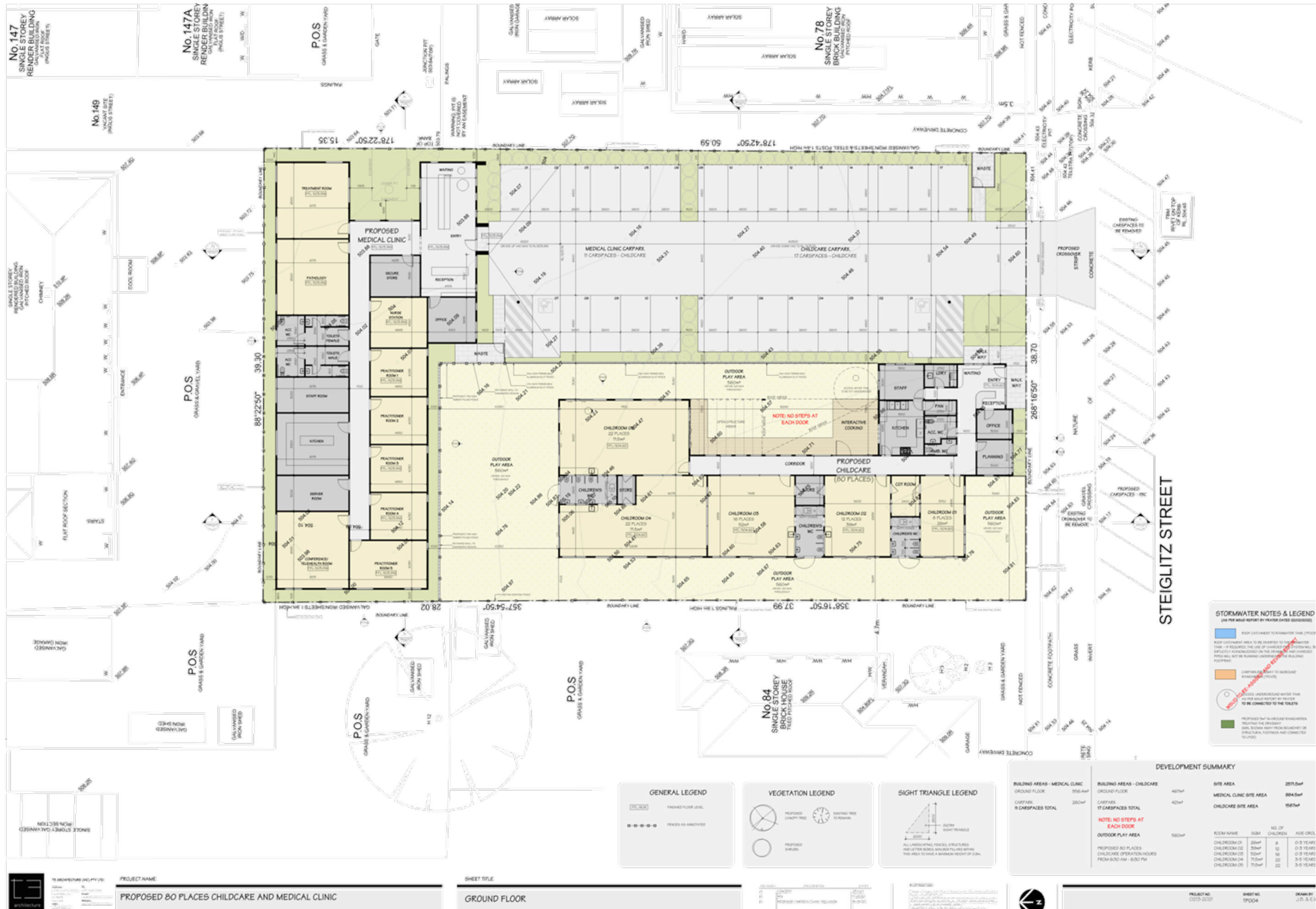
- PROPOSED CANOPY TREE
- PROPOSED SHRUBS
- EXISTING TREE TO REMAIN

SIGHT TRIANGLE LEGEND

ALL UNLANSKAPED FENCES AND LETTER BOXES SHALL BE FILLED WITH THIS AREA TO HAVE A MINIMUM HEIGHT OF 1.8m

DESIGN RESPONSE

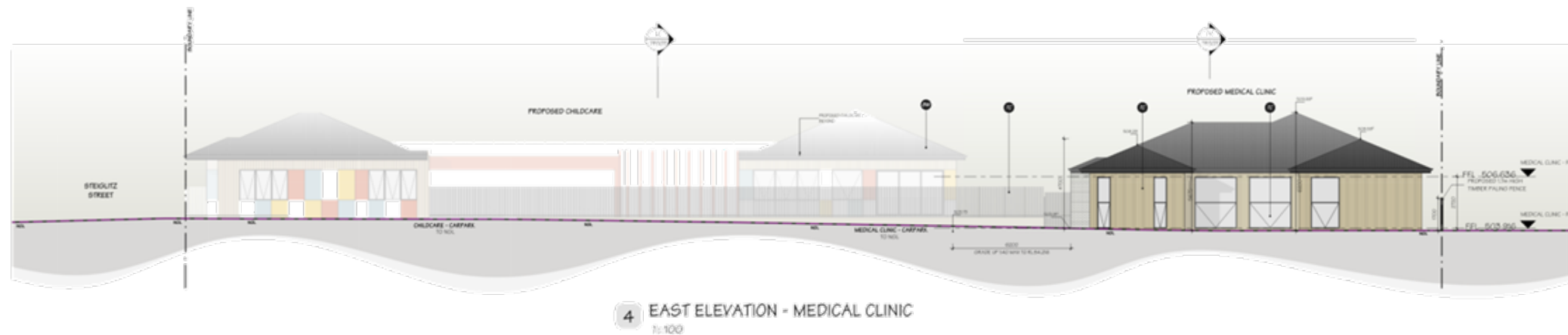
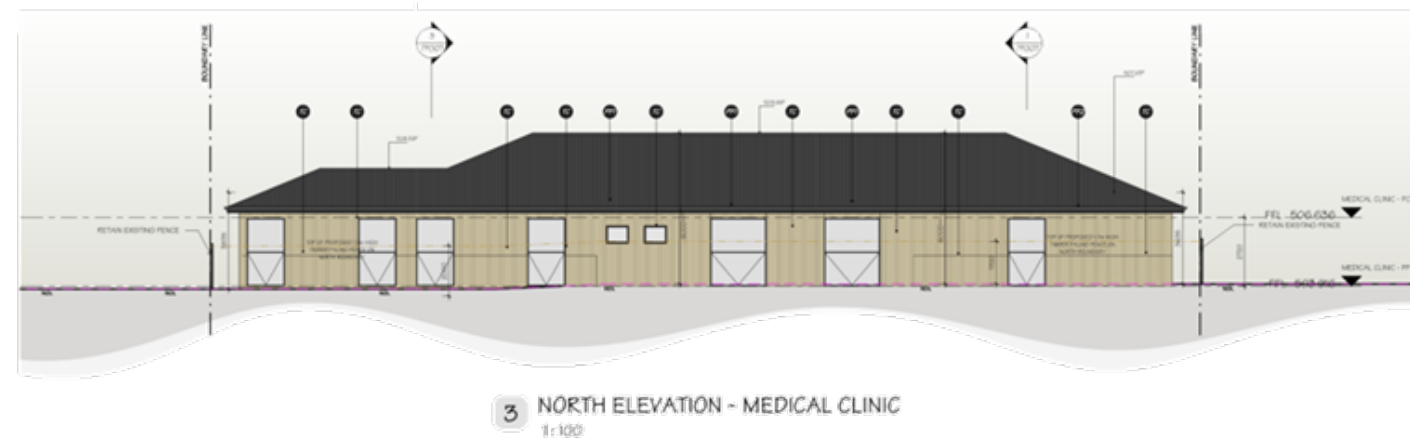
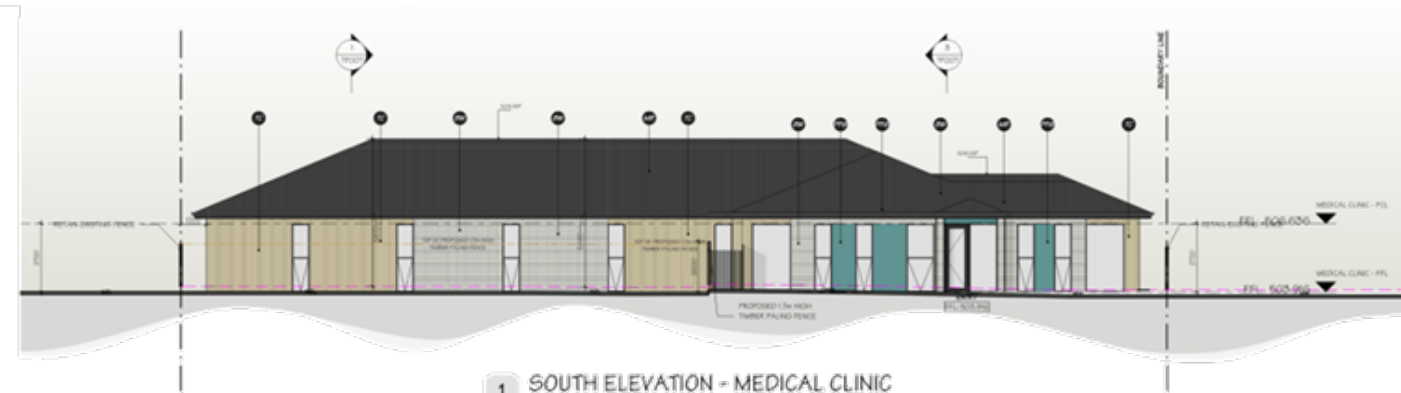
- MATERIALS COLOURS AND TEXTURES SELECTED TO HIGHLIGHT THE CONTEMPORARY ARCHITECTURAL FORM OF THE BUILDING.
- PROTECTED PRIVACY THROUGH THE USE OF 1.8m HIGH THINER PAINTED FENCE.
- THE ORIENTATION OF CHILDREN'S AND PLAY AREAS ENCLOSED SUNLIGHT EXPOSURE.
- THE BUILDING FORM MATERIAL AND COLOUR CHOICE RESPECTS NEIGHBOURHOOD CHARACTER BY USING SIMILAR BUILDING FORMS SUCH AS PITCHED ROOFS.
- THE BUILDING FORM HAS BEEN ARTICULATED TO MINIMIZE SOLAR GAIN FROM NORTH ORIENTATION. THE COURTYARD DESIGN REDUCES BUILDING MASS AND PROVIDES MORE POTENTIAL FOR LANDSCAPING.
- LANDSCAPING TO PROVIDE SUBSTANTIAL VALUE. PRIVACY TO ADJACENT PROPERTIES ALONG TO ADD IN WORKING AS AN ADDITIONAL ACUSTIC BUFFER.



STORMWATER NOTES & LEGEND
(AS PER MUD REPORT BY PRAXER DATED 20200302)

- ROOF CATCHMENT TO RAINWATER TANK (PROPOSED)
- ROOF CATCHMENT AREA TO BE CONNECTED TO THE RAINWATER TANK - IF REQUIRED, THE USE OF OVERHEAD PIPES AND/OR PIPES TO BE CONNECTED TO THE TANKS AND OVERHEAD PIPES WILL NOT BE ROUNDED UNDERNEATH THE BUILDING FOOTPRINT.
- CARPARKS ARE NOT TO BE CONNECTED TO THE TANKS (PROPOSED)
- ALL UNDERGROUND WATER TANKS AS PER MUD REPORT BY PRAXER TO BE CONNECTED TO THE TANKS
- PROPOSED 2nd FLOOR RAINWATER TANKS TO BE CONNECTED TO THE TANKS (PROPOSED)

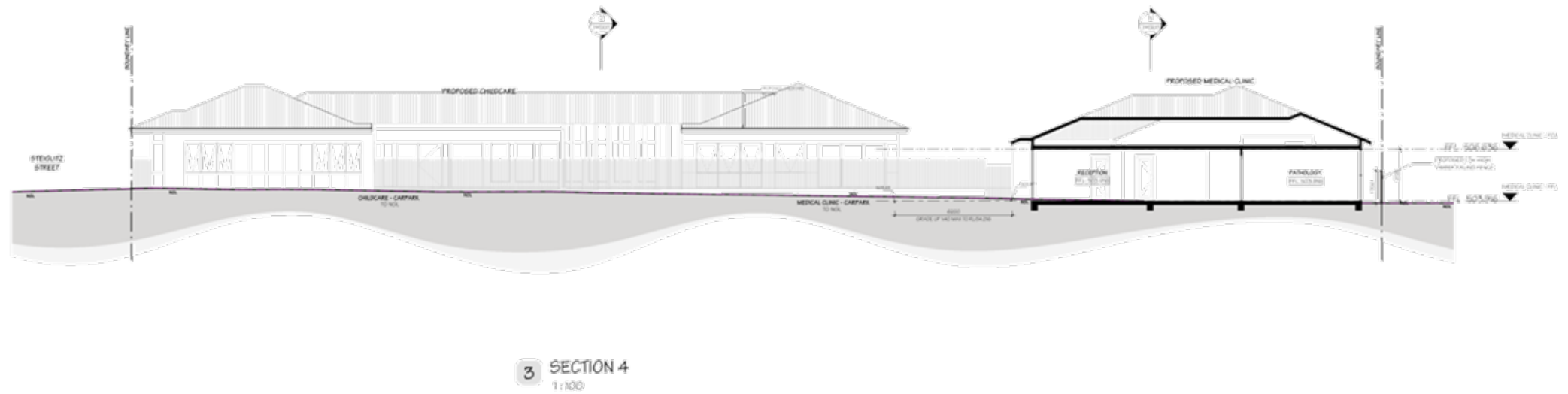
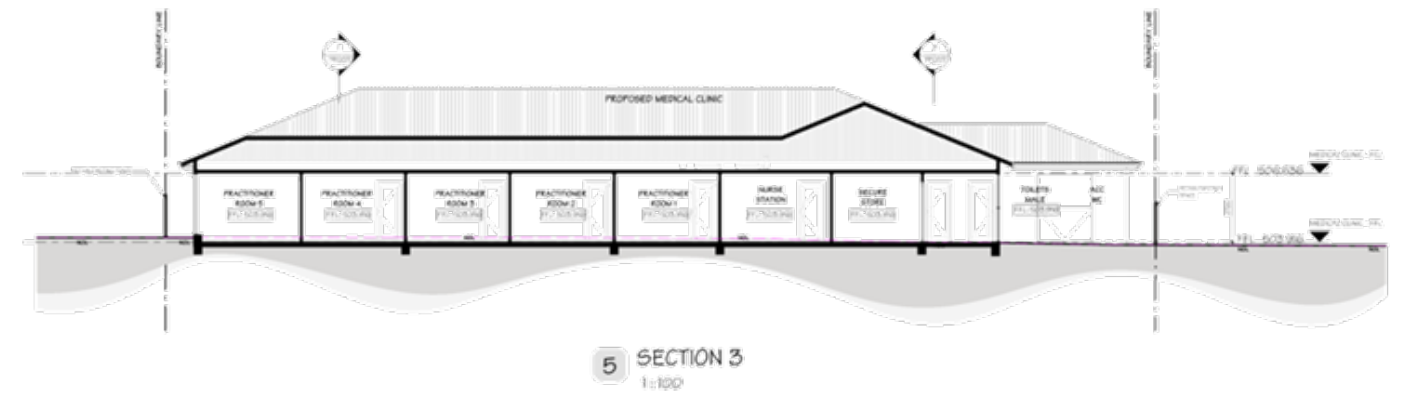
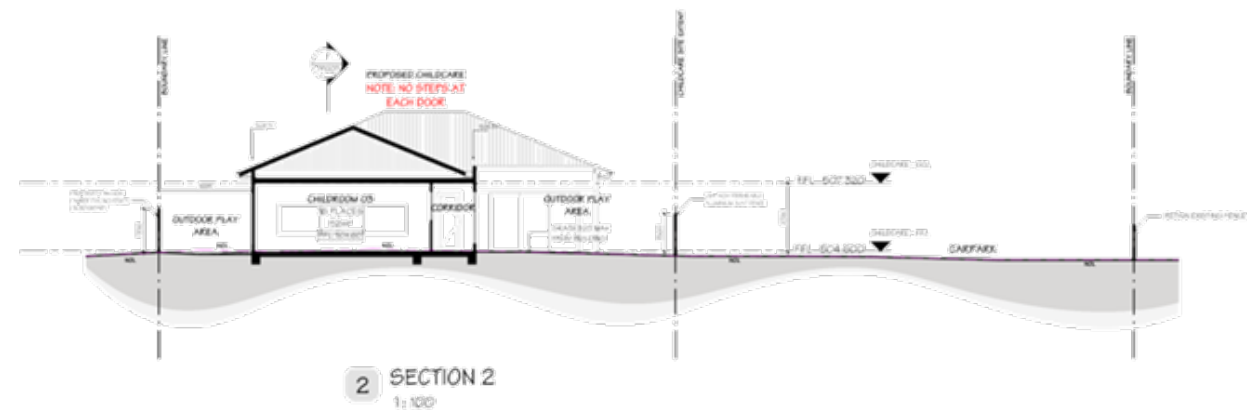
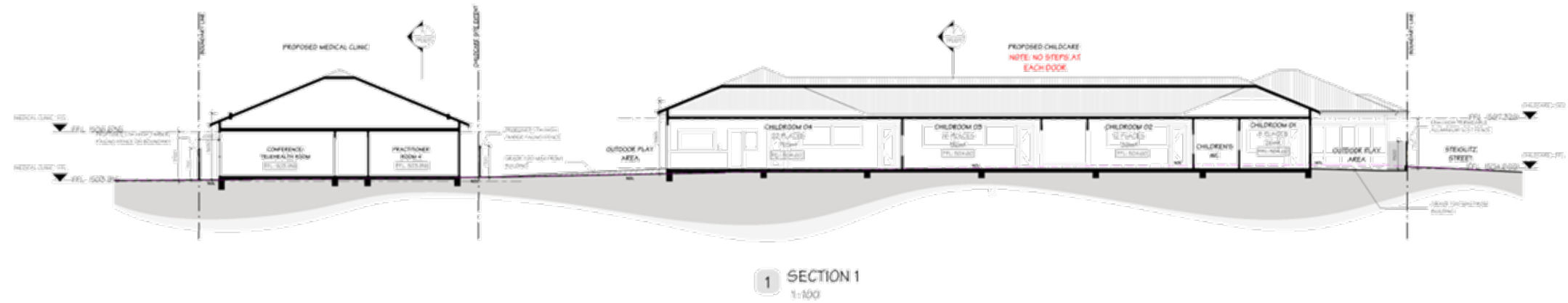
DEVELOPMENT SUMMARY			
BUILDING AREAS - MEDICAL CLINIC	GROUND FLOOR	556.4sqm	
	CARPARK, 17 CARS TOTAL	260.0sqm	
	CARPARK, 17 CARS TOTAL	260.0sqm	
BUILDING AREAS - CHILDCARE	GROUND FLOOR	467.0sqm	
	CARPARK, 17 CARS TOTAL	42.0sqm	
	CARPARK, 17 CARS TOTAL	42.0sqm	
NOTE: NO STEPS AT EACH DOOR			
OUTDOOR PLAY AREA		560.0sqm	
PROPOSED 80 PLACES CHILDCARE OPERATION HOURS FROM 6:00 AM - 6:00 PM			
ROOM NAME	SQM	NO. OF CHILDREN	AGE GRD.
CHILDROOM 01	28.0	8	0-5 YEARS
CHILDROOM 02	35.0	12	0-5 YEARS
CHILDROOM 03	52.0	16	0-5 YEARS
CHILDROOM 04	75.0	22	0-5 YEARS
CHILDROOM 05	75.0	22	0-5 YEARS



EXTERNAL FINISHES LEGEND		
CODE	IMAGE	DESCRIPTION
SW		BRICK COLOUR: "CARRELLANA - AUSTRAL BRICK" (OR SIMILAR)
BC		BRICK COLOUR: "CARRELLANA - AUSTRAL BRICK" SUPPLY: "BLUE WHITE BRICK - BRICK" (OR SIMILAR)
TC		THREE LOCK ALUMINUM CLADDING COLOUR: "WHITELOCK - BRICK" (OR SIMILAR)
PP1		PAINT FINISH COLOUR: "TOLU - VIVID WHITE" (OR SIMILAR)
PP2		PAINT FINISH COLOUR: "TOLU - VIVID WHITE" (OR SIMILAR)
PP3		PAINT FINISH COLOUR: "TOLU - EMERALD PIST" (OR SIMILAR)
PP4		PAINT FINISH COLOUR: "TOLU - SOFT PINK" (OR SIMILAR)
PP5		PAINT FINISH COLOUR: "TOLU - SKY BLUE" (OR SIMILAR)
PP6		PAINT FINISH COLOUR: "TOLU - WHITE DUCK - TOLU" (OR SIMILAR)

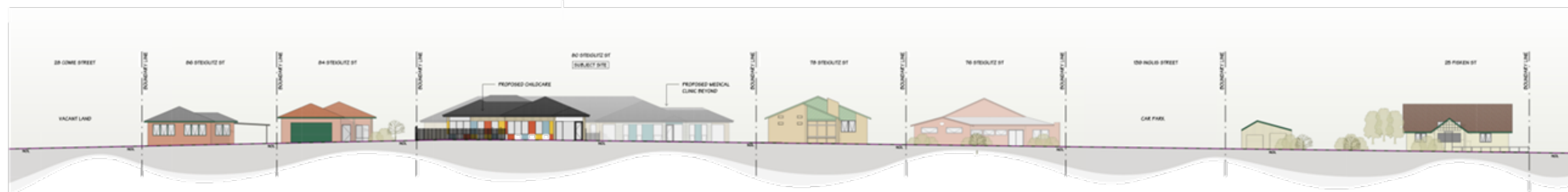
NO. NATURAL GROUND LINE NOTE: NO STEPS AT EACH DOOR

FINISH FLOOR LEVEL

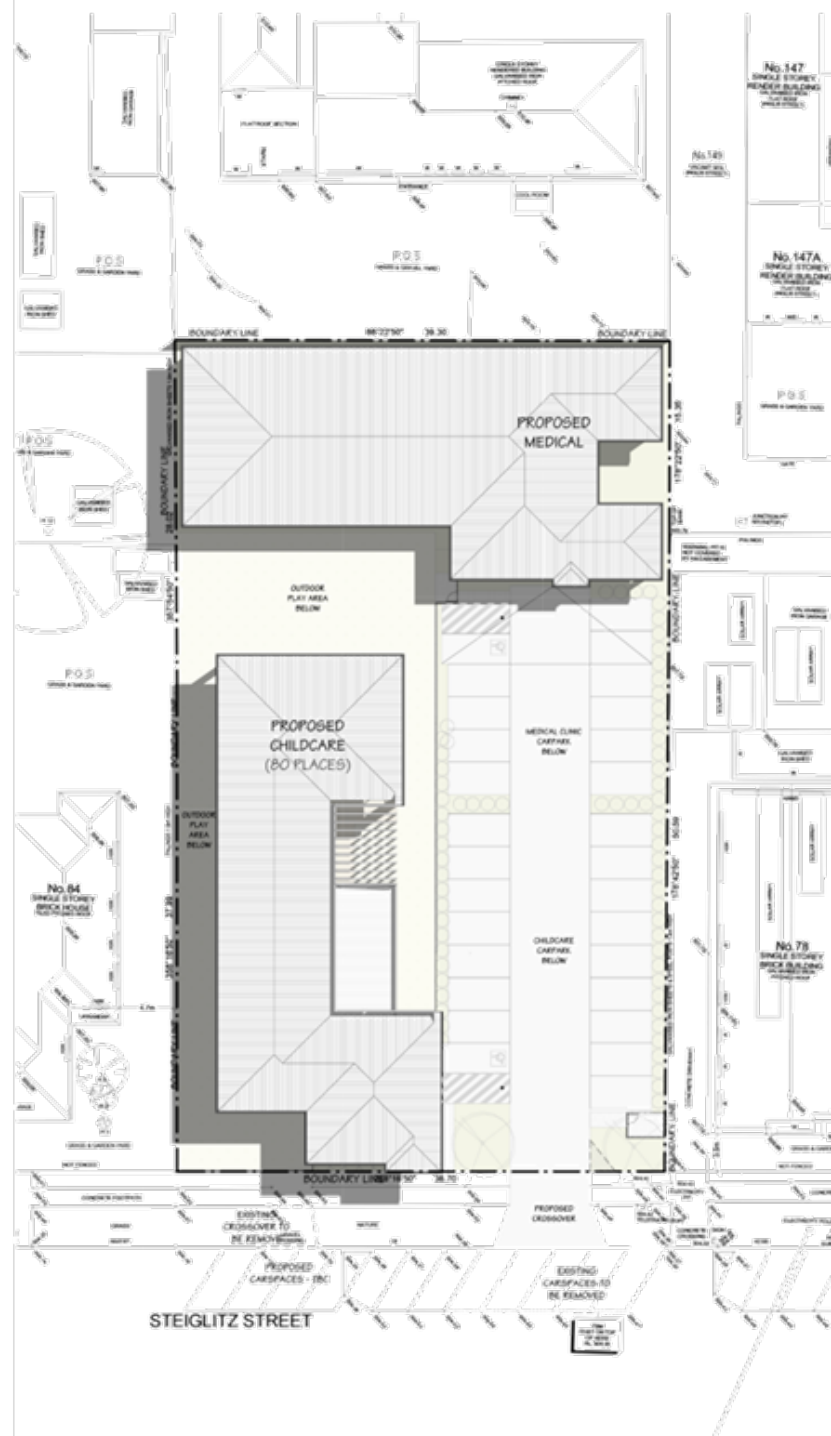




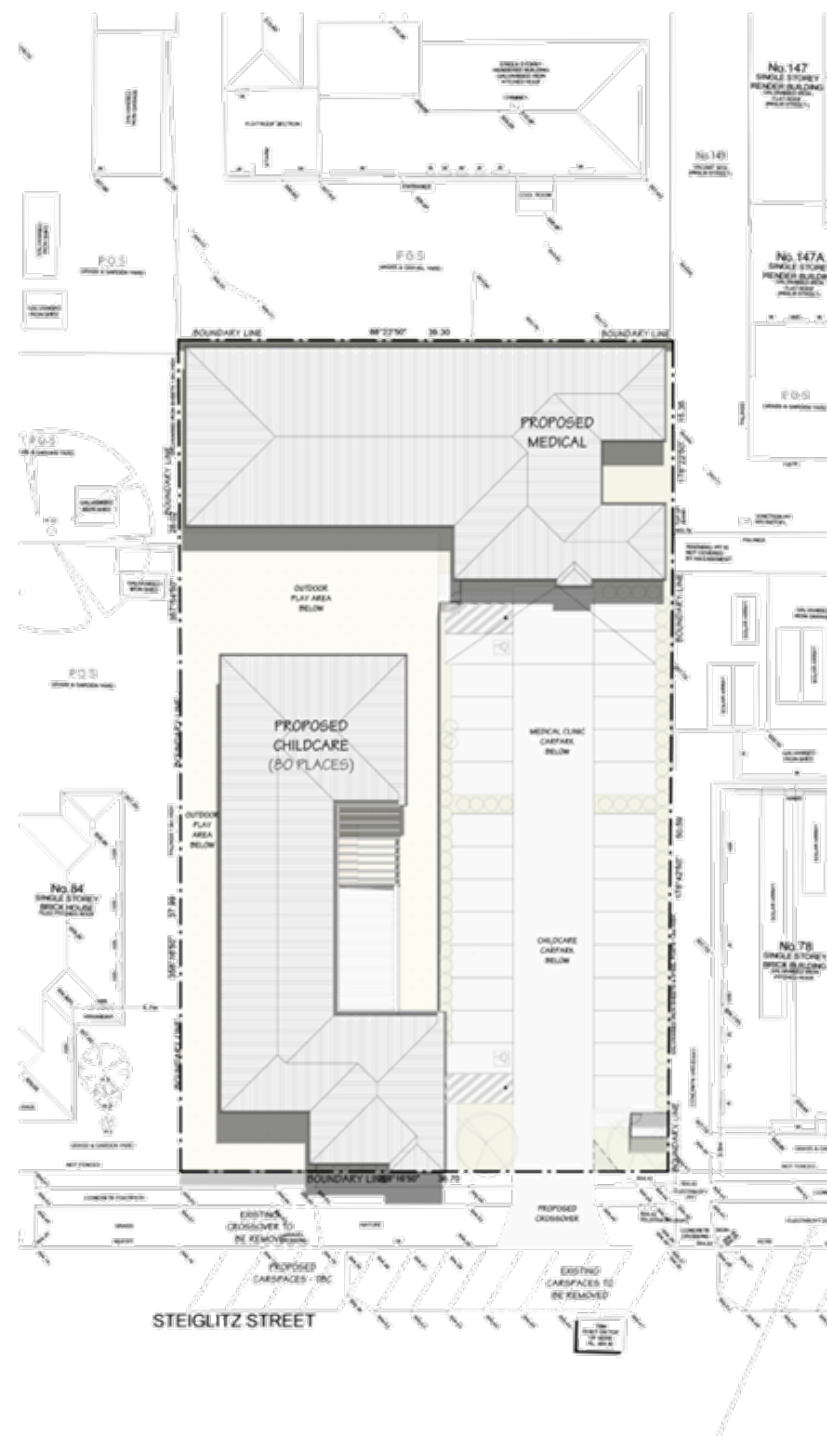
1 EXISTING STREETScape
1:200



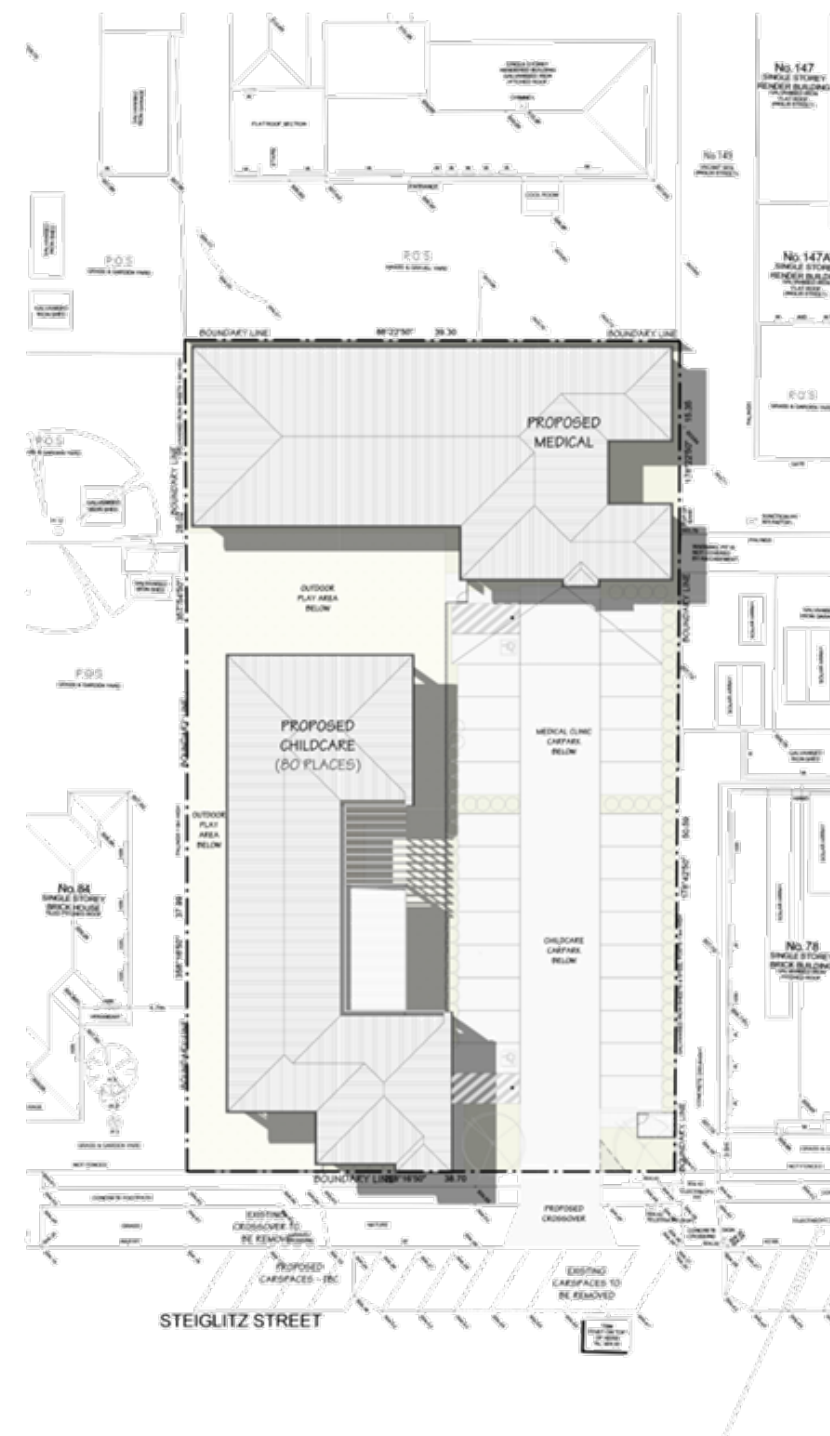
2 PROPOSED STREETScape
1:200



1 SHADOW DIAGRAM 9AM SEPTEMBER 22
1:200



2 SHADOW DIAGRAM 12PM SEPTEMBER 22
1:200



3 SHADOW DIAGRAM 3PM SEPTEMBER 22
1:200



T3
architecture

PROJECT NAME

PROPOSED 80 PLACES CHILDCARE AND MEDICAL CLINIC

SHEET TITLE

SHADOW DIAGRAMS

DATE: 2023-09-22
DRAWN BY: J.S. & E.J.
CHECKED BY: J.S. & E.J.
PROJECT NO: 2023-09-22

PROJECT NO: 2023-09-22
SHEET NO: TPO09
DRAWN BY: J.S. & E.J.



PROJECT NO: 2023-09-22
SHEET NO: TPO09
DRAWN BY: J.S. & E.J.



SYMBOL LEGEND

- TREES TO BE RETAINED
- TREES TO BE REMOVED

6			
5	NC	LOTS RENUMBERED	23/02/20
4	NC	REVISED LOT LAYOUT	09/11/20
3	NC	NATIVE TREE DETAILS (RETAIN/REMOVE)	24/06/20
2	NC	FEATURE SURVEY DETAILS REMOVED & LOT AMENDMENTS	12/03/20
REV	BY	REVISION	DATE



SWANSON SURVEYING PTY. LTD.
ABN 53 626 291 647
GEELONG - MELBOURNE - BALLARAT
1300 990 075 info@swansonsurveying.com.au
www.swansonsurveying.com.au

FILE REF: 10725_PPOS01V5
CLIENT: N & M THOMSON INVESTMENT TRUST
DATE OF SURVEY: -
SURVEYOR: -

SHEET 1 OF 1
SCALE 1:500
@ A3
HEIGHT DATUM: -
CO-ORDINATE DATUM: MGA2020
CONTOUR INTERVAL: -



NOTATIONS

This plan has been prepared for design and planning purposes.
It should not be used for any other purpose.

- NOTES:**
1. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH PLANIT'S STORMWATER MANAGEMENT PLAN, AVAILABLE AS J6574-GEELONG, BALLAN, RD-SWMP01.
 2. THIS STORMWATER STRATEGY HAS BEEN DESIGNED IN ACCORDANCE WITH MELBOURNE WATER'S INFRASTRUCTURE MAP (8146 - BALLAN SOUTH WEST DSS INFRASTRUCTURE 1:1).
 3. NO DETAILED HYDRAULIC MODELLING HAS BEEN COMPLETED AS PART OF THIS DESIGN. UPON THE DETAILED DESIGN PHASE OF THE PROJECT, DETAILED HYDRAULIC MODELLING SHOULD BE COMPLETED.
 4. QUANTITY AND QUALITY OBJECTIVES FOR THE SITE SHALL BE MET BY MAKING CONTRIBUTIONS TO MELBOURNE WATER.



LEGEND - PROPOSED

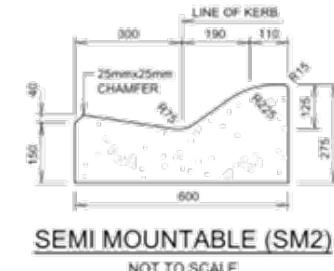
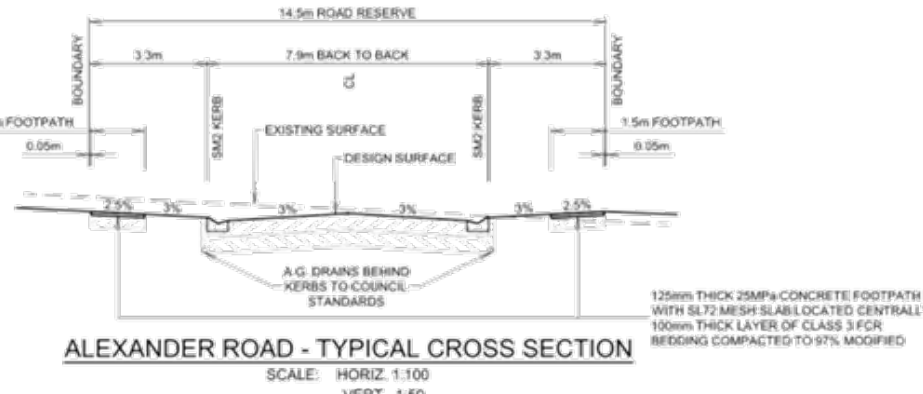
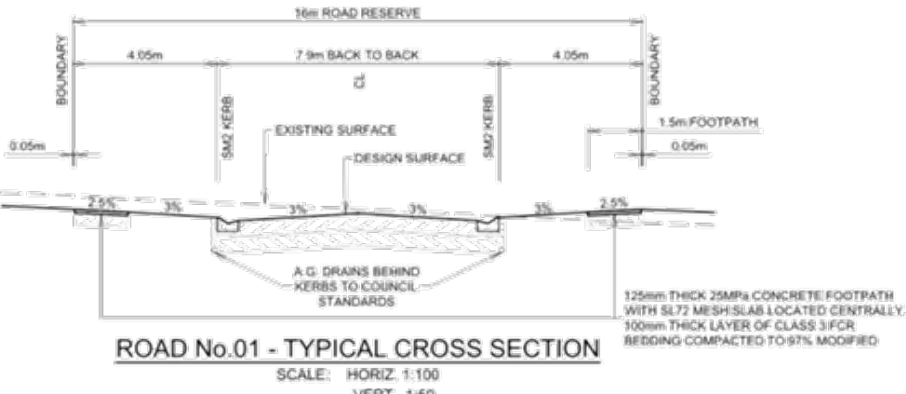
- PROPOSED TELECOMMS
- PROPOSED ELECTRICAL
- PROPOSED GAS MAIN
- PROPOSED SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED GAS WATER CONDUIT
- PROPOSED STORMWATER DRAIN
- PROPOSED HOUSE DRAIN
- OVERLAND FLOW PATH
- LOT FALL DIRECTION
- PROPOSED MELBOURNE WATER STORMWATER TRUNK MAIN
- FUTURE MELBOURNE WATER STORMWATER TRUNK MAIN
- PROPOSED ROAD SIGNS
- PROPOSED KERB D/WAY LAYBACK
- PROPOSED ROAD PAVEMENT
- PROPOSED FOOTPATH
- PROPOSED STAGE 1 EXTENTS

LEGEND - EXISTING

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING WATER MAIN
- EXISTING STORMWATER DRAINS
- EXISTING TELECOMMS (DBYD)
- EXISTING ELECTRICAL (DBYD)
- EXISTING OPTIC FIBRE
- EXISTING GRAVITY SEWER
- EXISTING GAS MAIN
- EXISTING TREES & VEGETATION

Schedule 3: Service Offsets (m) and Locations:

Street	Gas	Water	Comms	Elec.	Sewer
Alexander Drive	S 2.1	S 2.6	N 1.8	N 2.3	N/S 1.0
Road No.01	W 2.1	E 2.6	W 1.8	W 2.3	W 1.0



ATTENTION
THIS DRAWING IS INDICATIVE ONLY
THIS DRAWING IS SUBJECT TO CHANGE DURING THE APPROVAL AND CONSTRUCTION PHASES OF THE DEVELOPMENT AND SHOULD ONLY BE USED FOR CONCEPTUAL PURPOSES ONLY.
IT SHOULD NOT BE USED TO LOCATE CRIBWAYS, CONDUITS, PITS, ETC. FOR INTERNAL WORKS. PLEASE REFER TO THE DEVELOPER FOR ANY DESIGN QUERIES/LOCATIONS.

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE DETERMINED BY THE CONTRACTOR ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN.

WARNING
BEWARE OF ABOVE GROUND SERVICES
ANY EXCAVATION IN THE VICINITY OF POWER POLES TO BE IN ACCORDANCE WITH THE REGULATIONS OF THE RELEVANT ELECTRICAL AUTHORITY.

PRELIMINARY ISSUE
NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE	DRAWN	DESIGN	CHECK	APPROVED
A	ISSUED FOR APPROVAL	06.05.21	DJW	JB	IC	IC
B	ISSUED FOR APPROVAL	06.07.21	DJW	JB	IC	IC

SCALES:

Full Size 1:500; Half Size 1:1000

Scale (m)

0 1 2 4 6

Full Size 1:100; Half Size 1:200

Scale (m)

0 0.5 1 2 3

Full Size 1:50; Half Size 1:100

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DRAWN BY: D. WALTERS
DESIGN BY: J. BENTLEY
APPROVED BY:
DATE:

PLANIT CONSULTING
101 WEST FYANS STREET
PO BOX 112
GEELONG VIC 3220

TELEPHONE: 03 5229 7411
ABN: 20 099 261 711

CLIENT:
N & M THOMSON
INVESTMENT TRUST

LOCAL GOVERNMENT AUTHORITY:

PROJECT:
5486 GEELONG-BALLAN RD, BALLAN

DRAWING TITLE:
FUNCTIONAL LAYOUT PLAN
SERVICES DRAWING

ORIGINAL SIZE: PLANIT JOB No.:
DRAWING No.:
REV:



LEGEND - PROPOSED

- PROPOSED TELECOMMS
- PROPOSED ELECTRICAL
- PROPOSED GAS MAIN
- PROPOSED SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED GAS WATER CONDUIT
- PROPOSED STORMWATER DRAIN
- PROPOSED HOUSE DRAIN
- OVERLAND FLOW PATH
- LOT FALL DIRECTION
- PROPOSED MELBOURNE WATER STORMWATER TRUNK MAIN
- FUTURE MELBOURNE WATER STORMWATER TRUNK MAIN
- PROPOSED ROAD SIGNS
- PROPOSED KERB D/WAY LAYBACK
- PROPOSED ROAD PAVEMENT
- PROPOSED FOOTPATH
- PROPOSED STAGE 1 EXTENTS

LEGEND - EXISTING

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING WATER MAIN
- EXISTING STORMWATER DRAINS
- EXISTING TELECOMMS (DBYD)
- EXISTING ELECTRICAL (DBYD)
- EXISTING OPTIC FIBRE
- EXISTING GRAVITY SEWER
- EXISTING GAS MAIN
- EXISTING TREES & VEGETATION

ATTENTION

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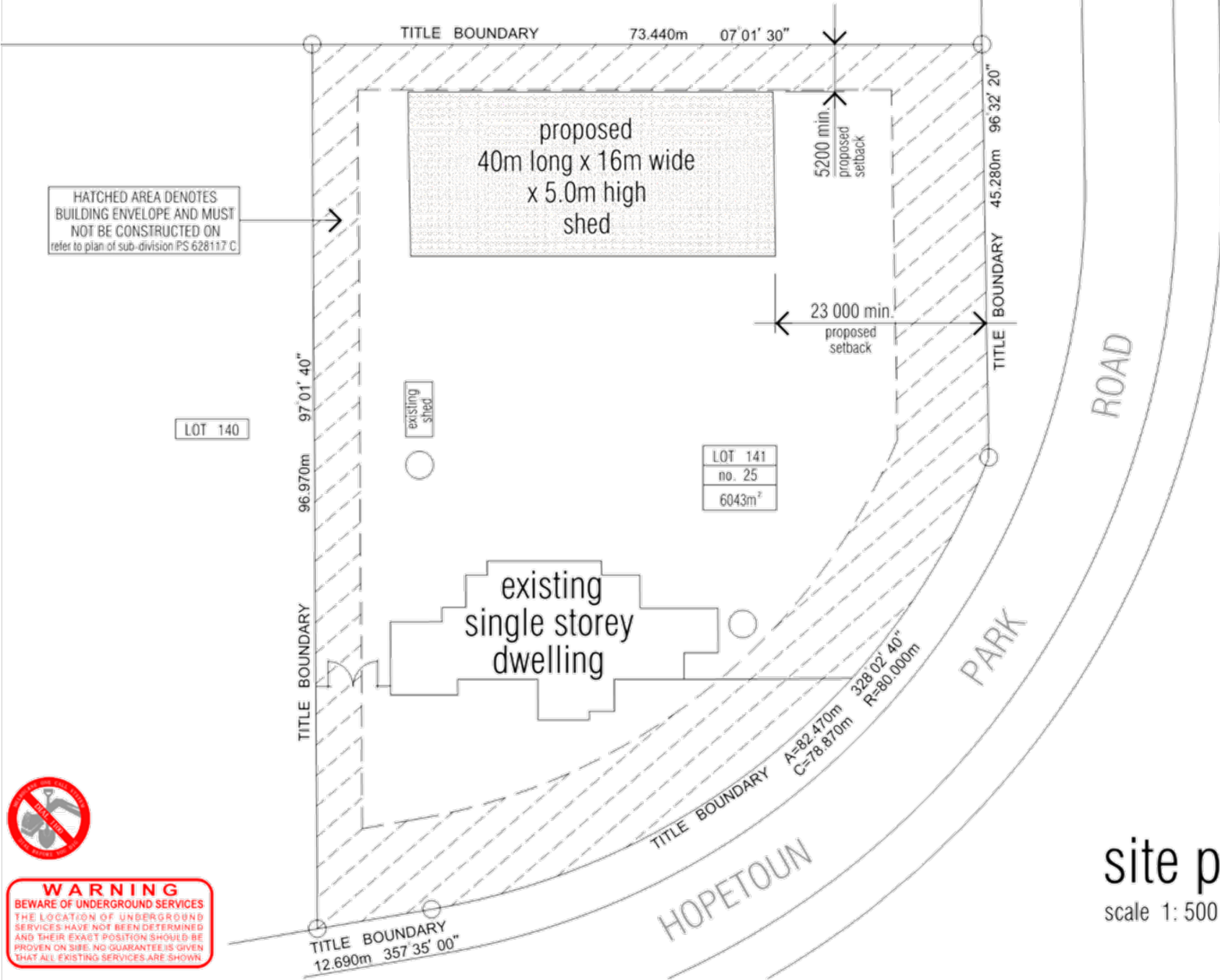
PRELIMINARY ISSUE

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE	DRAWN	DESIGN	CHECK	APPROVED	SCALE	PLANIT CONSULTING	CLIENT	PROJECT
A	ISSUED FOR APPROVAL	06.05.21	DJW	JB	IC	IC	Full Size 1:500; Half Size 1:1000	101 WEST FYANS STREET	N & M THOMSON	5486 GEELONG-BALLAN RD, BALLAN
B	ISSUED FOR APPROVAL	06.07.21	DJW	JB	IC	IC	Scale (m)	PO BOX 112	INVESTMENT TRUST	DRAWING TITLE:
							0 1 2 4 6	GEELONG VIC 3220		FUNCTIONAL LAYOUT PLAN
							Full Size 1:100; Half Size 1:200	TELEPHONE: 03 5229 7411		DRAINAGE ALIGNMENT DRAWING
							Scale (m)	ABN: 20 099 261 711		ORIGINAL SIZE: PLANIT JOB No: DRAWING No: REV:
							0 0.5 1 2 3			
							Full Size 1:50; Half Size 1:100			

THIS SET OF DRAWINGS IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING :

1. The certificate of title and Plan of Subdivision as noted below right
2. Copy of "Moorabool Shire Council" planning response letter dated 10-11-2021



Site Information	
Zoning	Low Density Residential Zone (LDRZ)
Lot Area	6043m ²
Water Authority 1	Southern Rural Water
Water Authority 2	Western Water
Municipality	Moorabool
Council Property No.	401516
Plan of Subdivision	PS 628117 C
Metway Reference	Map 335 E/ 12
Parish	Merrimu

design criteria	
Site Soil Classification	
Wind Rating	
Bushfire Attack Level	
Energy Rating	N/A
Alpine Area	No
Termite Area	
Flood Prone Area	
Designated Land or Works	
Sewerage	Reticulated

site plan
scale 1: 500

these drawings are to be read
in conjunction with the
certificate of title
volume : 11455 folio : 273
and
plan of subdivision PS 628117 C

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NOTES :
1. This drawing must not be scaled.
2. This drawing shall be read in conjunction with all other drawings
in the set for this development and all other relevant drawings,
specifications, sketches, computations etc. including those by others.
3. All contractors are to verify all dimensions on site prior to
commencing any work or shop detailing or ordering any materials.
4. The Draftsperson / Engineer shall be notified if there are any
discrepancies prior to commencing.
5. All materials and workmanship shall conform to the relevant current
Australian Standards and National Building Code of Australia.

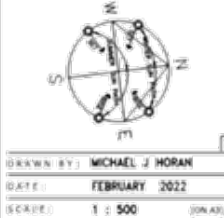
REV / STATUS	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	07-03-2022
B	WIDTH AND OVERALL HEIGHT REDUCED	04-05-2022

Registered Building Practitioner
Architectural - civil - structural
design draftsperson

Registration N°: DP-AD22036
Registration N°: DP-3067
ph. mobile : 0407 531 125
ph. office : 53 67 56 56
email : m3008@bigpond.net.au

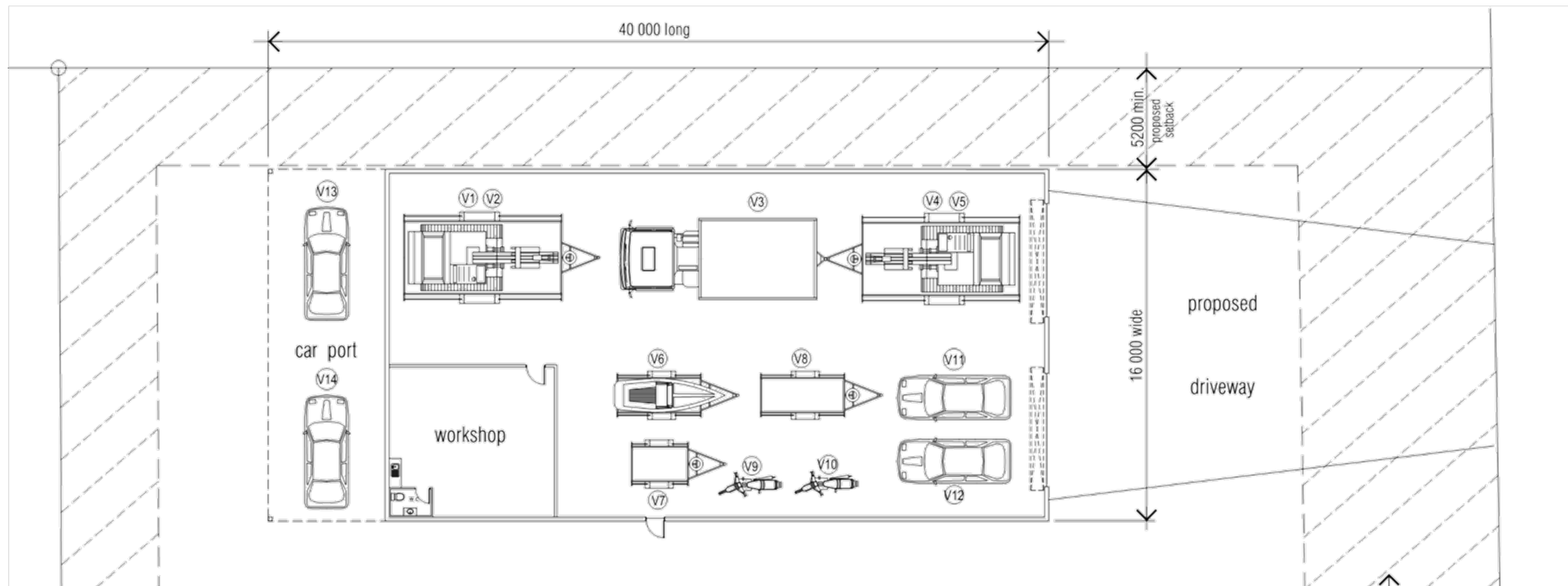


**Bacchus Marsh Design
and Drafting Services**
Michael J Horan



PROJECT :
**proposed shed
40m long x 16m wide x 5m high**
JOB ADDRESS :
**(lot 141) no. 25 view gully road,
hopetoun park, victoria, 3340**
CLIENT :
Thomas Quigley & Aleisha Fenech
ph. (m) 0402 088 020 (Thomas)

DRAWING TITLE :
site plan
DAG STATUS :
TOWN PLANNING
not for construction
DAG NO :
21-599
SHEET :
TP02
OF :
4
REVISION :
B



Schedule of motor vehicles to be stored

- | | |
|-----------------------|--------------------------------------|
| V1 Excavator | V9 Motor Bike |
| V2 Float Trailer | V10 Motor Bike |
| V3 Tandem Truck | V11 Hobby Car |
| V4 Excavator | V12 Hobby Car |
| V5 Float Trailer | V13 4 Wheel Drive |
| V6 Boat and Trailer | V14 Family Car |
| V7 Tandem Trailer | V15 Ride on Lawn Mower (not shown) |
| V8 Tandem Car Trailer | V16 Fishing Boat (not shown) |

floor plan

scale 1: 200

HATCHED AREA DENOTES
BUILDING ENVELOPE AND MUST
NOT BE CONSTRUCTED ON
refer to plan of sub-division PS 628117 C

these drawings are to be read
in conjunction with the
certificate of title
volume : 11455 folio : 273
and
plan of subdivision PS 628117 C



WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND
SERVICES HAVE NOT BEEN DETERMINED
AND THEIR EXACT POSITION SHOULD BE
PROVEN ON SITE. NO GUARANTEE IS GIVEN
THAT ALL EXISTING SERVICES ARE SHOWN

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NOTES :
This drawing must not be scaled.
This drawing shall be read in conjunction with all other drawings
in the set for this development and all other relevant drawings,
specifications, sketches, computations etc. including those by others.
All contractors are to verify all dimensions on site prior to
commencing any work or shop detailing or ordering any materials.
The Draftsperson / Engineer shall be notified if there are any
discrepancies prior to commencing.
All materials and workmanship shall conform to the relevant current
Australian Standards and National Building Code of Australia.

REV / STATUS	DESCRIPTION	DATE
A	ISSUED FOR PLANNING APPROVAL	07-03-2022
B	WIDTH AND OVERALL HEIGHT REDUCED	04-05-2022

Registered Building Practitioner
Architectural - civil - structural
design draftsperson

Registration N°: DP-AD22036
Registration N°: DP-3067
ph. mobile : 0407 531 135
ph. office : 53 43 56 16
email : info@bdcv.net.au

MEMBER
bdcv
Building Designers
Association Victoria

**Bacchus Marsh Design
and Drafting Services**
Michael J Horan

DRAWN BY: MICHAEL J HORAN
DATE: FEBRUARY 2022
SCALE: 1 : 200 (ON A3)

PROJECT :
proposed shed
40m long x 16m wide x 5m high
JOB ADDRESS :
(lot 141) no. 25 view gully road,
hopetoun park, victoria, 3340
CLIENT :
Thomas Quigley & Aleisha Fenech
ph. (m) 0402 088 020 (Thomas)

DRAWING TITLE :
floor plan
Dwg STATUS :
TOWN PLANNING
not for construction
Dwg NO : 21-599 | SHEET : TP03 | OF : 4 | REV STATUS : B

