



# **ATTACHMENTS**

**Development Assessment Committee  
Meeting**

**Under Separate Cover**

**Wednesday, 17 August 2022**



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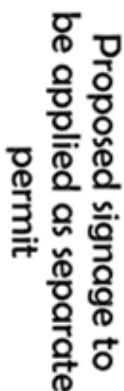
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|     |   |    |
|-----|---|----|
| 7.1 | <b>PA2022064 - Use of the Existing Dwelling for a Retail Premise (Pharmacy) and a Reduction in Car Parking (two car spaces) at 56 Urquhart Street, Gordon</b> |    |
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|        |          |
|--------|----------|
| TOTAL: | 53.43sqm |
|--------|----------|



|        |            |     |          |   |
|--------|------------|-----|----------|---|
| 2 of 3 | 1:100 @ A3 | A02 | 21-07-03 | B |
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| TIMBER FRAMING SCHEDULE   |                               |                      |                       |               |     |  |
|---|-------------------------------|----------------------|-----------------------|---------------|-----|--|
| FLOORING MATERIAL   |                               | GRADE                |                       | JOIST SPACING |     |  |
| 19 THICK VICTORIAN HW   |                               | STANDARD             |                       | 620           |     |  |
| 19 THICK RADIATA PINE   |                               | STANDARD             |                       | 510           |     |  |
| PARTICLEBOARD SHEET FLOORING  |                               | 600 SERIES           |                       | 600           |     |  |
| FRAMING TIMBER  |                               | MAX. SPAN            |                       |               |     |  |
| CEILING HEIGHT - 3000<br>EFFECTIVE ROOF LENGTH - 12000  |                               | SUPP. AT 2<br>POINTS | CONT. OVER 2<br>SPANS |               |     |  |
| MEMBER  | SIZE                          |                      |                       |               |     |  |
| SIZES FOR SINGLE STOREY AND UPPER STOREY OF 2 STOREY CONSTRUCTION   |                               |                      |                       |               |     |  |
| BOTTOM PLATE  | 90 x 45                       | 600                  | 600                   | -             | F5  |  |
| TOP PLATE   | 90 x 45                       | 600                  | 600                   | -             | F5  |  |
| STUDS-COMMON  | 90 x 35                       | 2400                 | 2400                  | 600           | F5  |  |
|   | 90 x 35                       | 2700                 | 2700                  | 600           | F5  |  |
|   | 90 x 45                       | 3000                 | 3000                  | 450           | F5  |  |
| STUDS-AT SIDES<br>OF OPENING  | 90 x 45                       | 2400                 | 2400                  | 1150          | F5  |  |
|   | 90 x 70                       | 2400                 | 2400                  | 3000          | F5  |  |
|   | 90 x 70                       | 2700                 | 2700                  | 1800          | F5  |  |
|   | 90 x 90                       | 2700                 | 2700                  | 2700          | F5  |  |
|   | 90 x 90                       | 3000                 | 3000                  | 1500          | F5  |  |
| LINTELS<br>(REFER TRUSS<br>DESIGN)  | 90 x 35                       | 1300                 | -                     | -             | F17 |  |
|   | 140 X 35                      | 1900                 | -                     | -             | F17 |  |
|   | 190 x 35                      | 2400                 | -                     | -             | F17 |  |
|   | 240 X 35                      | 3000                 | -                     | -             | F17 |  |
|   | 240 X 45                      | 3200                 | -                     | -             | F17 |  |
|   | 290 X 45                      | 3600                 | -                     | -             | F17 |  |
| NOGGINGS  | 70 x 35                       | 600                  | -                     | 1350          | F5  |  |
| BRACING   | METAL STRAP - REFER A.S. 1684 |                      |                       |               |     |  |
| ROOF BATTENS  | 75 X 38                       | -                    | 900                   | 900           | F8  |  |
| SIZES FOR LOWER STOREY OF 2 STOREY CONSTRUCTION   |                               |                      |                       |               |     |  |
| TOP AND<br>BOTTOM PLATE   | 90 x 70                       | 600                  | 600                   | -             | F5  |  |
| STUDS COMMON  | 90 x 45                       | 2400                 | -                     | 600           | F5  |  |
|   | 90 x 45                       | 2700                 | -                     | 450           | F5  |  |
|   | 90 x 70                       | 3000                 | -                     | 450           | F5  |  |
| STUDS-AT SIDES<br>OF THE<br>OPENINGS  | 90 x 45                       | 2400                 | 2400                  | 900           | F5  |  |
|   | 90 x 70                       | 2700                 | 2700                  | 1500          | F5  |  |
|   | 90 x 90                       | 2700                 | 2700                  | 2100          | F5  |  |
|   | 90 x 70                       | 2700                 | 2700                  | 3900          | F17 |  |
| LINTELS   | REFER TO ENGINEER'S DETAILS   |                      |                       |               |     |  |
| FLOOR JOISTS  | REFER TO ENGINEER'S DETAILS   |                      |                       |               |     |  |
| STRESS GRADE F17 REFERS TO SEASONED HARDWOOD<br>STRESS GRADE F8 REFERS TO UNSEASONED HARDWOOD<br>STRESS GRADE F7 REFERS TO UNSEASONED OREGON<br>STRESS GRADE F5 REFERS TO SEASONED RADIATA PINE |                               |                      |                       |               |     |  |

**CONCRETE SLAB & FOOTINGS:**  
REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR SLAB DETAILS, AND GEOTECHNICAL ENGINEER'S REPORT FOR FOUNDING DEPTHS AND CONDITIONS. USE 100 X 100MM REINFORCED CONCRETE STUMPS SET 29MM MAX INTO CONCRETE PAD FOOTINGS, UNLESS NOTED OTHERWISE BY STRUCTURAL ENGINEER, THE CONCRETE PAD FOOTINGS ARE TO COMPLY WITH AS 2870 AND NCC, PART 3.2, 'FOOTING & SLAB CONSTRUCTION'.

**EXCAVATION**  
EXCAVATE FOOTINGS & DRAINS AS SHOWN. KEEP EXCAVATIONS DRY & BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS

**SOIL CLASSIFICATION:**  
THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT.

FOOTINGS TO BE FOUNDATIONED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT. THE H.G.F.L. RECOMMENDS THAT FOOTINGS/SLABS & DRAINAGE TO BE DESIGNED & INSPECTED BY AN ENGINEER TO SATISFY THEIR REQUIREMENTS.

**STORMWATER**  
90mm DIAM. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL AUTHORITY REQUIREMENTS. PROVIDE INSPECTION OPENINGS AT 9000mm C/C & AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:  
- 100mm UNDER SOIL  
- 50mm UNDER PAVED OR CONC. AREAS  
- 100mm UNDER UNREINFORCED CONC. OR PAVED DRIVEWAYS  
- 75mm UNDER REINFORCED CONC. DRIVEWAYS  
**\*REFER ENGINEER'S CIVIL PLAN**

**PLASTER:**  
PROVIDE 10mm THICK PLASTERBOARD TO WALLS AND 10mm THICK PLASTER TO CEILING. ALL WET AREAS SHALL HAVE AN APPROVED 10mm THICK WATERPROOF PLASTERBOARD OR HARDIES VILLABOARD INSTALLED IN STRICT ACCORDANCE WITH MANU INSTRUCTIONS & SPECIFICATIONS

**GLAZING:**  
ALL GLAZING SHALL COMPLY WITH A.S. 1288 ALL HEAD HEIGHTS ARE AT 2100MM ABOVE FLOOR LEVEL, UNLESS OTHERWISE NOTED.  
ALL SIZES ARE INDICATIVE. EXACT SIZES TO BE SPECIFIED BY WINDOW MANUFACTURER.  
ALL MEASUREMENTS SHOWN ARE TO HARD SURFACE STRUCTURE TOLERANCE ARE TO COMPLY WITH MANUFACTURER'S ALLOWANCES. SITE CHECK REQUIRED  
ALL GLAZING IN BATHROOM, ENSUITES, SPA ROOMS OR THE LIKE, INCLUDING SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2000MM ABOVE THE HIGHEST ABUTTING FINISHED FLOOR LEVEL, BOTTOM OF THE BATH OR SHOWER BASE, MUST:-  
1) FOR FRAMED GLAZING, BE GRADE 'A' SAFETY GLAZING IN ACCORDANCE WITH TABLE 3.6.5 OF THE NCC.  
2) FOR FRAMELESS GLAZING, BE TOUGHENED SAFETY GLASS IN ACCORDANCE WITH TABLE 3.6.5 OF THE NCC WITH A MINIMUM THICKNESS OF 6MM.  
REFER TO ELEVATIONS FOR SASH LOCATIONS ALL OPENING SASHES TO BE PROVIDED WITH WINDOW LOCKS, INCLUDING SLIDING DOORS.  
ALL DOORS & WINDOW SASHES TO WHOLE JOB TO HAVE SEALS ALL ROUND.

**DAMP PROOF COURSES:**  
CONTINUOUS DAMP PROOF COURSE AND CAVITY FLASHING MATERIAL SHALL BE NOM. 0.9MM THICK ALUMINIUM COATED IN BITUMEN, AND SHALL BE IN ACCORDANCE WITH 'WEATHERPROOFING OF MASONRY', PART 3.3.4.4, VOL.2, NCC, AND PROVIDED IN THE FOLLOWING LOCATIONS: SLAB LEVEL, COMBINED D.P.C., FLASHING, HEAD FLASHINGS TO OPENINGS, TURN INTO ANGLE LINTELS AND EXTEND ACROSS THE CAVITY, TURN UP NOT LESS THAN 150MM AND FIX TO TIMBER FRAME, UNDER TIMBER WINDOW SILL, ACROSS THE CAVITY AND TURNED DOWN AND EMBEDDED FOR THE FULL WIDTH OF OUTER LEAF OF BRICKWORK SET ONE COURSE BELOW BRICK-ON-EDGE SILL, EXTEND FLASHINGS 100MM BEYOND ENDS OF OPENINGS/JAMBS AND LAP OPC MIN. 150MM AT JOINTS.

**WEEP HOLES:**  
PROVIDE WEEP HOLES AT EVERY FOURTH PERPEND ABOVE ALL CROSS CAVITY FLASHINGS IN EXTERNAL CAVITY BRICK SKINS TO HEIGHT AND WIDTH OF VERTICAL BRICK JOINT FORMED ACCURATELY AND UNIFORMLY THROUGHOUT THE JOB.

**SUB-FLOOR VENTILATION:**  
PROVIDE MIN. 75 X 230 MM GALVANISED STEEL SUB-FLOOR VENTS @ MAX. 1.8 M SPACINGS IN BASE BRICK WALLING OR AS SPEC.

**SMOKE DETECTORS:**  
S. - DENOTES HARDWIRED AND INTERCONNECTED SMOKE DETECTORS COMPLYING WITH AS 3786, CEILING MOUNTED WHERE INDICATED ON DESIGNER'S DRAWINGS.

**TIMBER FLOOR WALL AND ROOF FRAMING:**  
ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH AS 1684 'TIMBER FRAMING CODE & SUPPLEMENTARY TABLES

**CORROSION PROTECTION**  
ALL STRUCTURAL STEEL MEMBERS, WALL TIES AND ROOF SHEETS TO BE AS PER NCC 3.4.2.2 MUST HAVE A MIN. COATING CLASS IN ACCORDANCE WITH AS 1397 OF Z275 (250grams of zinc per metre) or A2150 (150 grams per metres of aluminium/zinc)

**TERMITE PROTECTION:**  
UNLESS OTHERWISE SPECIFIED, GROUND AREA BELOW STRUCTURE TO BE TREATED WITH CHEMICAL SPRAY PROTECTION AGAINST TERMITES IN ACCORDANCE WITH AS 3660.1, AND TERMITE RISK MANAGEMENT, PART 3.1.3, VOL. 2 OF THE NCC.

**WALL SARKING:**  
PROVIDE DOUBLE-SIDED REFLECTIVE FOIL WALL SARKING AS SPECIFIED TO ALL NEW EXTERNAL WALLS.

**VERTICAL ARTICULATION JOINTS:**  
FORM 10MM WIDE VERTICAL JOINTS IN BRICKWORK WHERE SHOWN ON DRAWINGS AND IN ACCORDANCE WITH PART 3.3.1.8 OF THE NCC 'VERTICAL ARTICULATION JOINTS'. USE APPROVED ELASTOMASTIC SEALANT OVER COMPATIBLE CLOSED CELL BACKING ROD. USE 'ABEY' STAINLESS STEEL EXPANSION TIES ACROSS CONTROL JOINTS. JOINTS ON FIRE RATED BOUNDARY WALLS TO BE FILLED WITH TYCO-FYREFLEX OR OTHER APPROVED FIRE RATED JOINT SEALANT STRICTLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS FOR USE. MAX SPACINGS ARE TO BE 6000MM.

**SKYLIGHTS:**  
SKYLIGHTS TO BE 'VELUX' OR MODELS OF TYPES NOTED WITH LAMINATED 'HEAT-STOP' GLASS AND, WHERE NOTED, REMOTE WINDERS AND FLYSCREENS INSTALLED TO MANUFACTURER'S INSTRUCTIONS.

**WET AREAS:**  
WET AREA WALL & FLOOR FINISHES TO COMPLY WITH 'WET AREAS' PART 3.8.1, VOL. 2 OF THE NCC.

**BATHROOM & ENSUITE FLOORS:**  
CERAMIC OR STONE TILES OVER 15MM THICK 'HARDIES' COMPRESSED FIBRE CEMENT SHEET SUBSTRATE LINING. WALLS GENERALLY: CERAMIC OR STONE TILES OVER 10MM THICK W.R. GRADE 'BORA' OR 'GYPROCK' PLASTERBOARD SHEET SUBSTRATE LINING. SHOWER AND BATH RECESS WALLS AND HOBBS: SELECTED CERAMIC OR STONE TILES OVER 6MM THICK 'HARDIES' VILLABOARD FIBRE CEMENT SHEET LINING.

**BATHROOM & ENSUITE MECHANICAL VENTILATION:**  
BATHROOM, POWDER ROOM & ENSUITE MECHANICAL VENTILATION OF A MINIMUM 25L/S DUCTED TO OUTSIDE AIR IN ACCORDANCE WITH AS 1668.

**BATHROOM / ENSUITE / POWDER ROOM HINGE DOORS:**  
ALL HINGED DOORS TO BATHROOMS, ENSUITES & POWDER ROOMS TO BE FITTED WITH LIFT HINGES. DOOR TO BE ADJUSTED ACCORDINGLY.

**WATER TANK:**  
PROVIDE 2000 LITRE RAINWATER TANKS - MIN. ROOF CATCHEMENT OF 50m2. THE TANKS ARE TO BE CONNECTED TO THE SANITARY FLASHING SYSTEM.

**HEATING APPLIANCE / FIREPLACE:**  
INSTALL SOLID-FUEL BURNING APPLIANCES IN ACCORDANCE WITH 'HEATING APPLIANCES', PART 3.7.3, VOL. 2 OF THE NCC AND AS 2918.

**HEARTHES:**  
HEARTHES TO EXTEND MIN. 300MM BEYOND THE FRONT OF THE FIRE-PLACE/INSERT FIREPLACE OPENING AND 150MM BEYOND EACH SIDE OF THAT OPENING. IN ACCORDANCE WITH 'HEATING APPLIANCES', PART 3.7.3, VOL. 2 OF THE NCC.

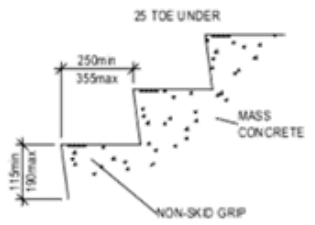
**LIGHT & VENTILATION:**  
THE AREA OF LIGHT TO HABITABLE ROOMS SHALL ACHIEVE THE MINIMUM 10% FLOOR AREA IN ACCORDANCE WITH PART 3.8.4 VOL. 2 OF THE NCC. VENTILATION AND THE OPEN AREA OF WINDOWS AND DOORS SHALL ACHIEVE THE MINIMUM 5% FLOOR AREA IN ACCORDANCE WITH PART 3.8.5 VOL. 2 OF THE NCC.

**STEEL LINTELS & STEELWORK:**  
ALL EXTERNAL STEEL LINTELS AND EXPOSED STRUCTURAL STEELWORK TO BE 'HOT DIPPED GALVANISED'. REFER ALSO ENGINEERS SPECIFICATIONS.

**CONCRETE STEP DETAIL:**  
**GENERAL:**  
- THE SIZE OF TREADS AND RISERS SHALL BE CONSTANT AND THE SUM OF 2 TIMES RISERS HEIGHT PLUS GOING (2R+G) SHALL BE GREATER THAN 550mm AND LESS THAN 700mm. HANDRAILS SHALL BE AT A MINIMUM HEIGHT OF 865mm ABOVE TREAD NOSINGS OR 1000mm ABOVE ADJACENT RAMPS AND OTHER FLOOR SURFACES.

WHERE A HANDRAIL IS NOT ADJACENT TO A WALL PROVIDE BOTTOM RAIL 125mm MAX. ABOVE TREAD NOSINGS OR FLOOR, PROVIDE 125mm MAX. CLEAR BETWEEN RAILS OR BALUSTERS, HORIZONTAL RAILS SHALL NOT BE PLACED BETWEEN 150mm AND 760mm ABOVE FLOOR OR TREAD NOSINGS.

**CONCRETE:**  
SHALL BE MINIMUM THICK, EXCLUSIVE OF TOPPING SHALL BE OF MINIMUM 20 GRADE MASS CONCRETE SHELL BE STEEL TROWELLED GRANULOTIC FINISH



**TIMBER STEP DETAIL:**  
EXTERNAL STEPS IN ACCORDANCE WITH PART 3.9, VOL.2 OF THE NCC  
THE GOING AND RISER OF A FLIGHT OF STAIRS IN A STAIRWAY SHELL BE CONSTANT.

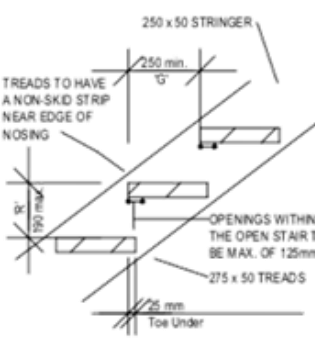
No. OF RISERS BEFORE A LANDING IN A SINGLE FLIGHT OF STAIRS SHALL NOT EXCEED 18 RISERS.

HANDRAILS SHALL BE AT MINIMUM HEIGHT OF 865mm ABOVE NOSING OF TREADS AND 1000mm ABOVE LANDINGS.

HANDRAILS SHALL BE PROVIDED ALONG EACH SIDE OF A STAIRWAY IF THE WIDTH OF THE STAIRWAYS EXCEEDS 2000mm.

THE WIDTH OF A STAIR (MEASURED CLEAR OF HANDRAILS AND OBSTRUCTIONS) SHALL BE CONSTANT.

BALUSTRADES TO BE CONSTRUCTED IN A WAY THAT ANY OPENINGS DOES NOT PERMIT A 125mm SPHERE TO PASS THROUGH IT AND FOR BOTTOM RAILS THE SPACE IS TESTED ABOVE THE NOSINGS.



GOING AND RISERS SHALL NOT EXCEED FOLLOWING:



|        | RISER (R) |      | GOING (G) |      | QUANTITY (2R+G) |      |
|--------|-----------|------|-----------|------|-----------------|------|
|        | Max.      | Min. | Max.      | Min. | Max.            | Min. |
| Stairs | 190       | 115  | 355       | 250  | 700             | 550  |

**NOTE:**  
THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION. ANY CHANGES TO THE ORIGINAL PLANS HAS TO BE SUBMITTED TO ENGINEER AND DESIGNER FOR REVISION AND APPROVAL.

ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE VOL.1 & VOL.2, RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITIES REQUIREMENTS.

BUILDER AND/OR PLUMBER IS TO CONNECT S.W.D. INTO LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL COUNCIL. BUILDER AND/OR PLUMBER IS TO VERIFY LOCATION & R.L.'s AND I.L.'s OF EXISTING PITS AND PIPES, PRIOR TO THE COMMENCEMENT OF ANY WORKS


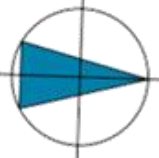
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENGINEERS STRUCTURAL DRAWING AND COMPUTATION AND ALL OTHER RELEVANT DOCUMENTATION

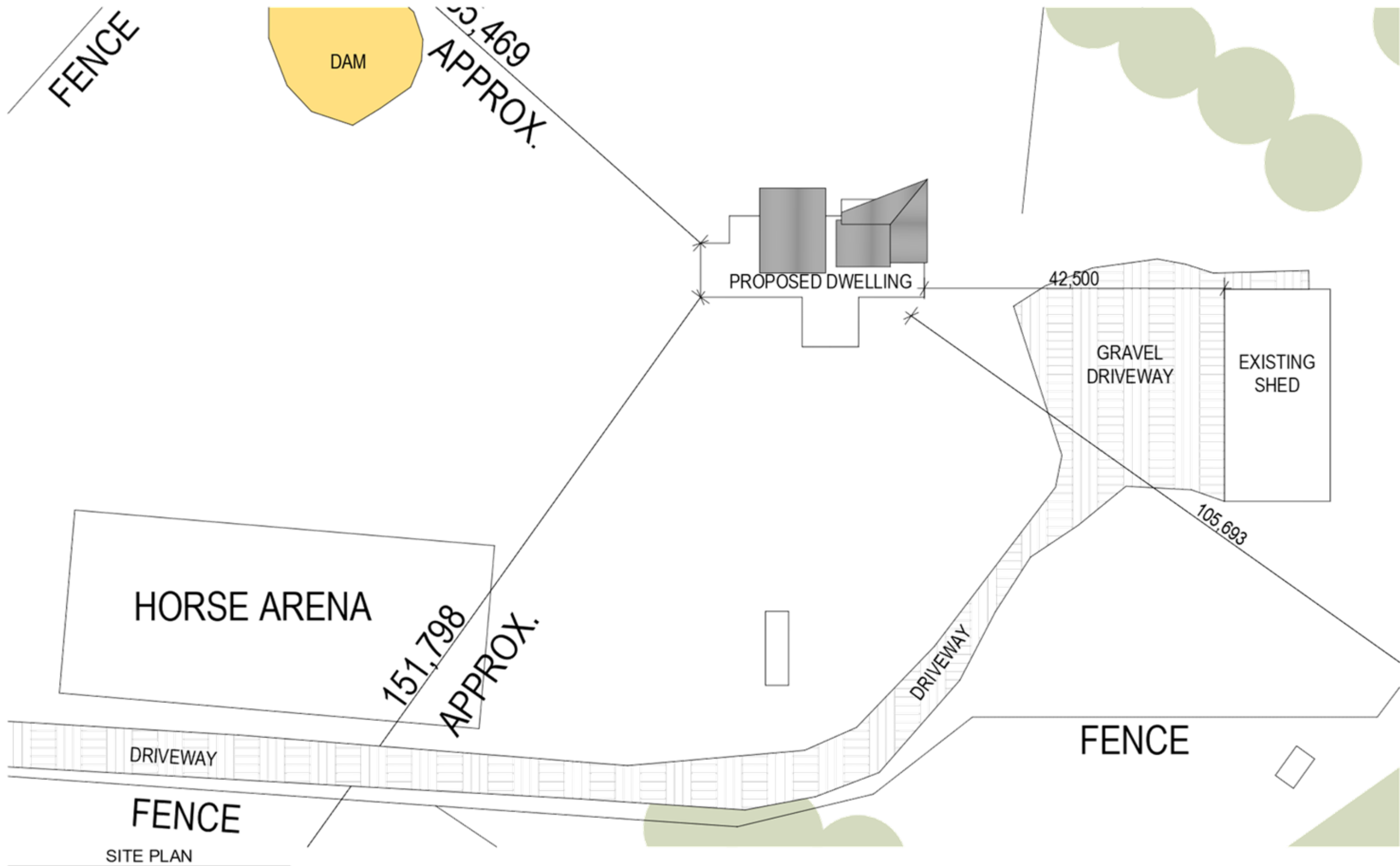
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|  | MJL DESIGN & DRAFTING<br>PO BOX 7559<br>GEE LONG WEST 3218<br><br>Mb. 0419 012 261<br><br>matt@mjl-design.com.au | Design: ML Drawn: ML   | Date: 30.04.20 |  |     | Client :<br><b>KANE &amp; ERIN</b> | Project Name:<br><b>CLIFF VIEWS</b> |  | Job No:<br><b>12_000</b> |                                   |                             |                              |          |
|   |  | Checked: ML - 00.00.00   | Scale:         |  |     |                                    |                                     |   |                          | Drawing :<br><b>GENERAL NOTES</b> | Drawing No:<br><b>WD100</b> |                              |          |
|   |  | DO NOT SCALE FROM THESE RAWINGS. VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & OR SHOP DRAWINGS WITH MJL DESIGN & DRAFTING. THIS DRAWING & OTHERS ARE COPYRIGHT PROTECTED. NO PART MAY BE REPRODUCED OR OTHERWISE DEALT WITH, WITHOUT THE WRITTEN PERMISSION OF MJL DESIGN & DRAFTING |                |  | B   |                                    |                                     |   |                          |                                   |                             | ADDITIONAL INFORMATION ADDED | 15.08.21 |
|   |  |  |                |  | A   |                                    |                                     |   |                          |                                   |                             | PLANNING ISSUE               | 15.03.21 |
|   |  |  |                |  | Rev |                                    |                                     |   |                          |                                   |                             | Description                  | Date     |





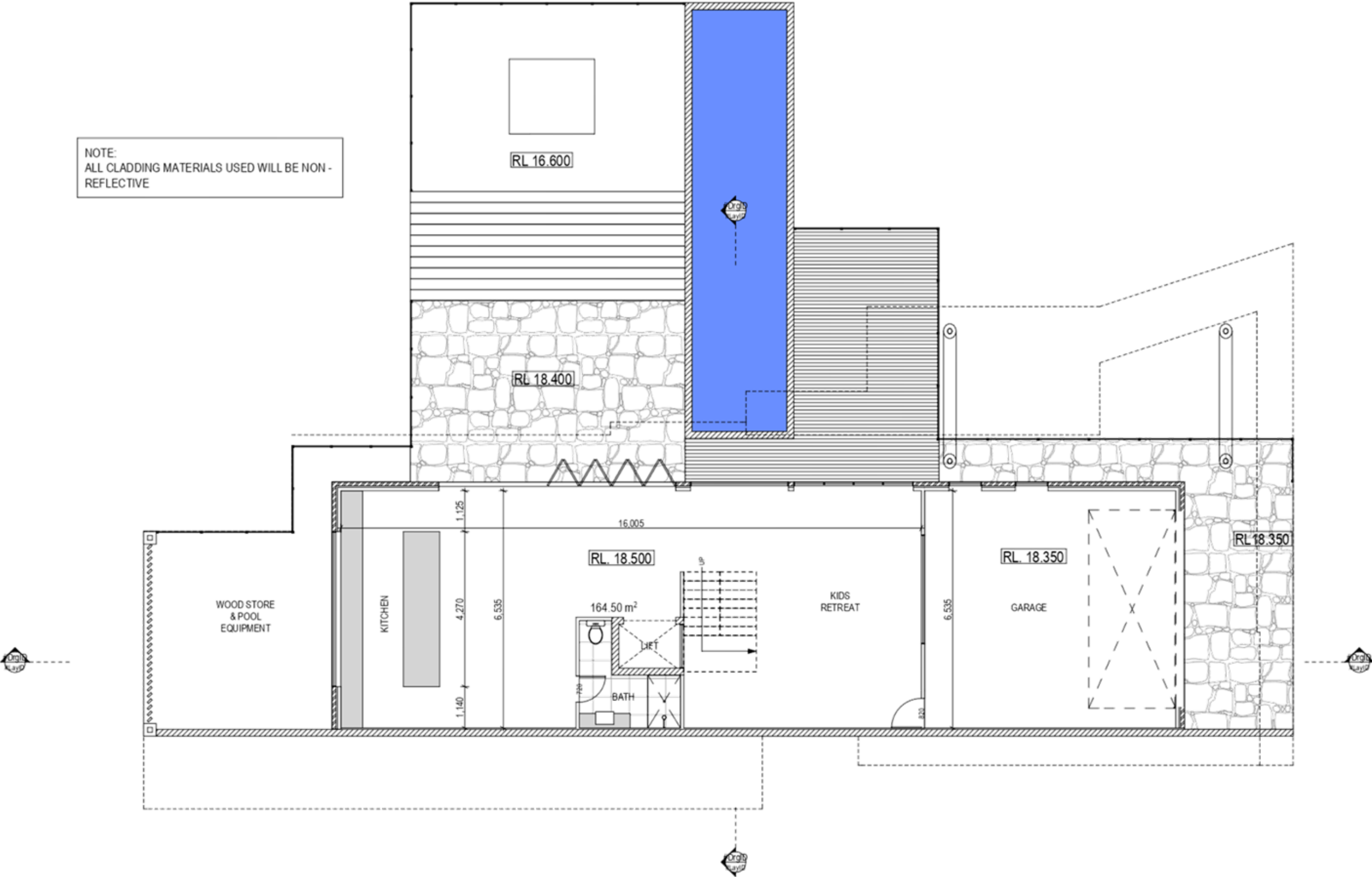






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|  | MJL DESIGN & DRAFTING<br>PO BOX 7559<br>GEELONG WEST 3218<br><br>Mo. 0419 012 261<br>matt@mjl-design.com.au | Design: ML Drawn: ML  | Date: 30.04.20 |  |  |     | Client :<br><b>KANE &amp; ERIN</b><br><br>Location :<br><b>529 SWAN ROAD<br/>         DARLEY,<br/>         VICTORIA</b> | Project Name:<br><b>CLIFF VIEWS</b><br><br>Drawing :<br><b>SITE PLAN</b> | Project North<br> | Job No:<br><b>12_000</b><br><br>Drawing No:<br><b>WD103</b> |
|   |   | Checked: ML - 00.00.00  | Scale: 1:2000  |  |  |     |   |  |  |   |
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|   |   |   |                |  |  | A   | PLANNING ISSUE  | 15.03.21   |  |   |
|   |   |   |                |  |  | Rev | Description   | Date   |  |   |



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|  | MJL DESIGN & DRAFTING<br>PO BOX 7559<br>GEELONG WEST 3218<br><br>Mob. 0419 012 261<br>matt@mjl-design.com.au | Design: ML Drawn: ML  | Date: 30.04.20 |  |     | Client :<br><b>KANE &amp; ERIN</b><br><br>Location :<br><b>529 SWAN ROAD<br/>DARLEY,<br/>VICTORIA</b> | Project Name:<br><b>CLIFF VIEWS</b><br><br>Drawing :<br><b>SITE PLAN</b> |  | Job No:<br><b>12_000</b><br><br>Drawing No:<br><b>WD104</b> |
|   |  | Checked: ML - 00.00.00  | Scale: 1:500   |  |     |   |  |   |   |
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|   |  |   |                |  | A   | PLANNING ISSUE  | 15.03.21   |   |   |
|   |  |   |                |  | Rev | Description   | Date   |   |   |



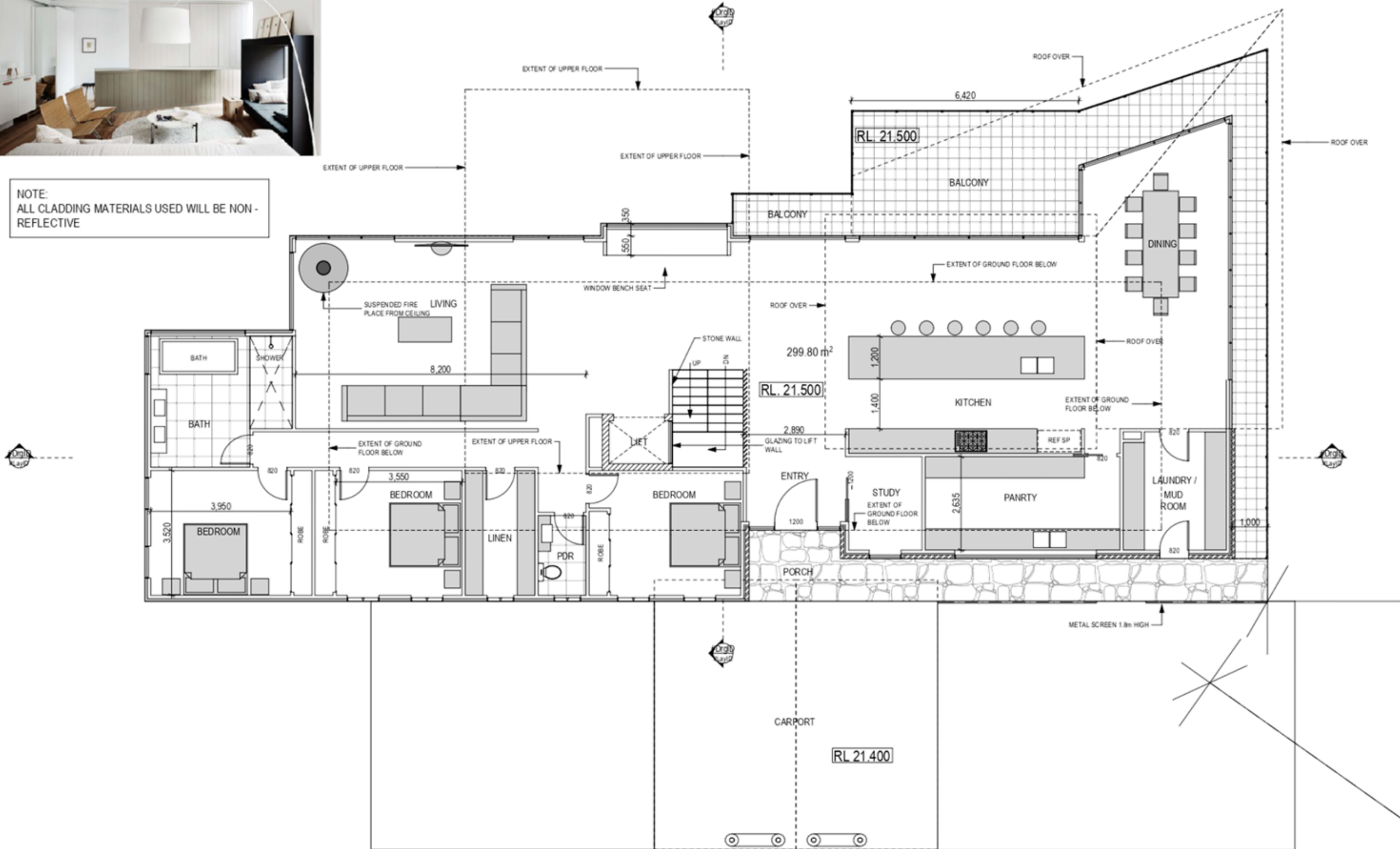
LOWER GROUND FLOOR PLAN 1:100

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|  | MJL DESIGN & DRAFTING<br>PO BOX 7559<br>GEELONG WEST 3218<br><br>Mb. 0419 012 261<br><br>matt@mjl-design.com.au | Design: ML Drawn: ML  | Date: 30.04.20               |          |  | Client :<br><b>KANE &amp; ERIN</b><br><br>Location :<br><b>529 SWAN ROAD<br/>DARLEY,<br/>VICTORIA</b> | Project Name:<br><b>CLIFF VIEWS</b><br><br>Drawing :<br><b>LOWER GROUND FLOOR PLAN</b> |  | Job No:<br><b>12_000</b><br><br>Drawing No:<br><b>WD106</b> |
|   |   | Checked: ML - 00.00.00  | Scale: 1:1, 1:100            |          |  |   |  |   |   |
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|   |   | Rev   | Description                  | Date     |  |   |  |   |   |
|   |   | B   | ADDITIONAL INFORMATION ADDED | 15.08.21 |  |   |  |   |   |
|   |   | A   | PLANNING ISSUE               | 15.03.21 |  |   |  |   |   |







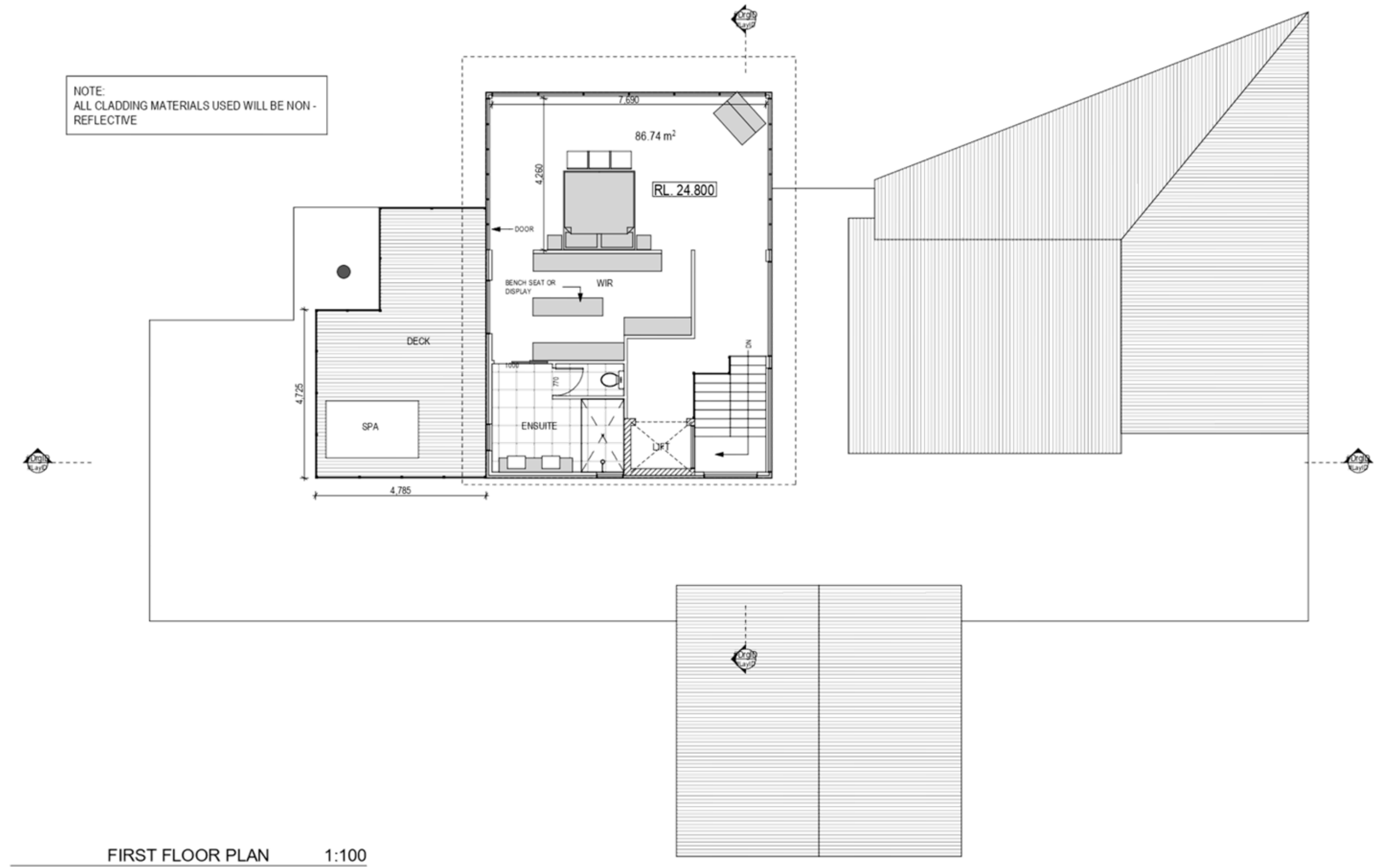
NOTE:  
ALL CLADDING MATERIALS USED WILL BE NON -  
REFLECTIVE


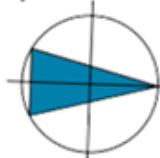


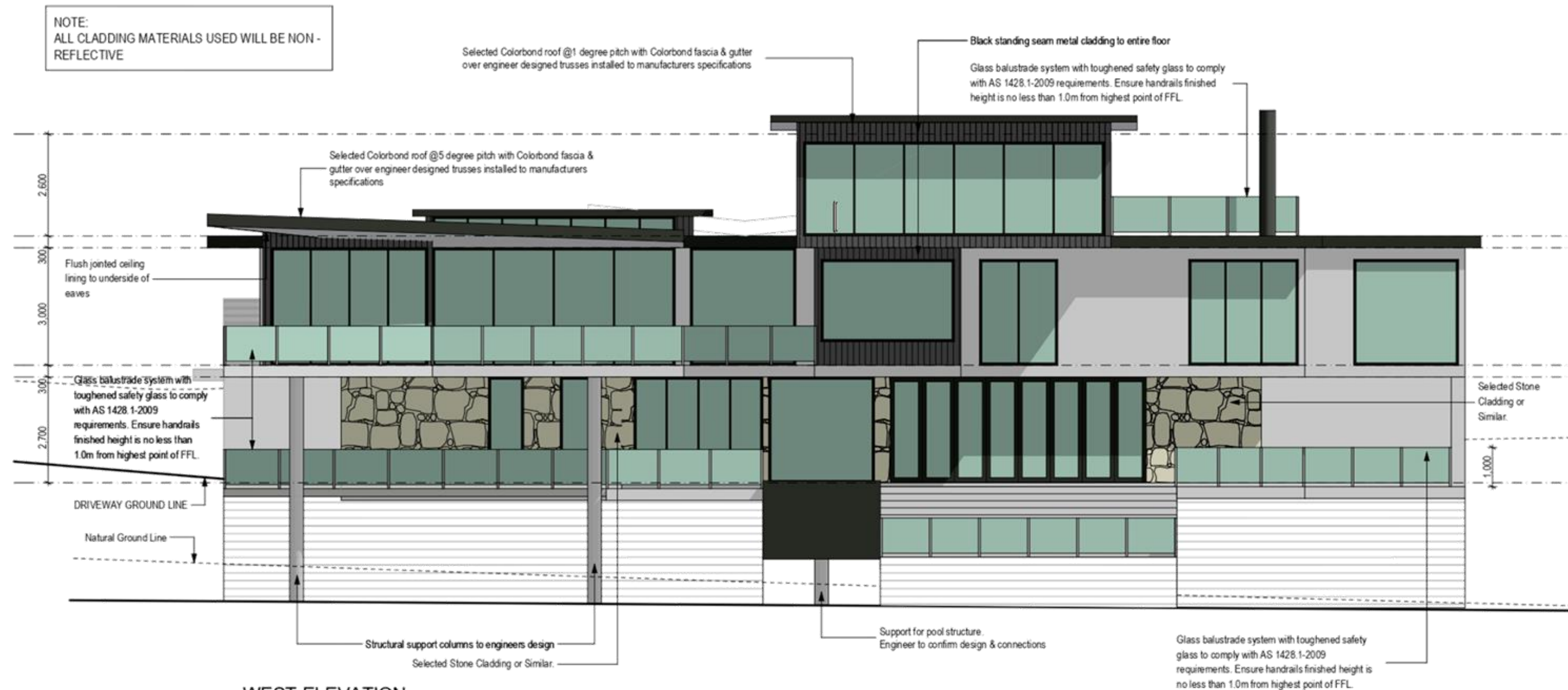
GROUND FLOOR PLAN 1:100



|   |   |   |                              |          |  |   |  |   |   |
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|  | MJL DESIGN & DRAFTING<br>PO BOX 7559<br>GEELONG WEST 3218<br><br>Mb. 0419 012 261<br><br>matt@mjl-design.com.au | Design: ML Drawn: ML  | Date: 30.04.20               |          |  | Client :<br><b>KANE &amp; ERIN</b><br><br>Location :<br><b>529 SWAN ROAD<br/>DARLEY,<br/>VICTORIA</b> | Project Name:<br><b>CLIFF VIEWS</b><br><br>Drawing :<br><b>GROUND FLOOR PLAN</b> |  | Job No:<br><b>12_000</b><br><br>Drawing No:<br><b>WD107</b> |
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|   |   | B   | ADDITIONAL INFORMATION ADDED | 15.08.21 |  |   |  |   |   |
|   |   | A   | PLANNING ISSUE               | 15.03.21 |  |   |  |   |   |
|   |   | Rev   | Description                  | Date     |  |   |  |   |   |



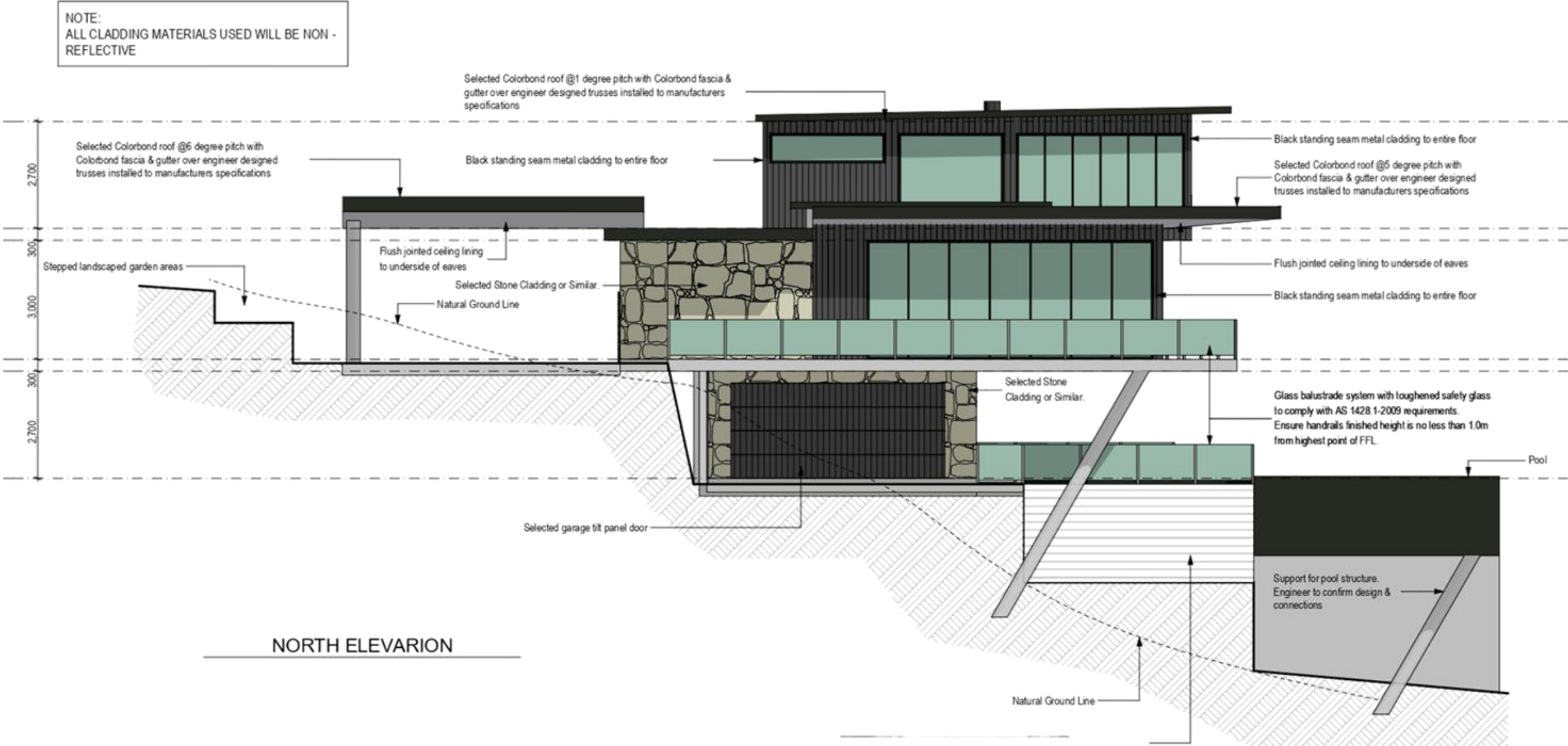


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|   |   |   |                   |  | A   | PLANNING ISSUE  | 15.03.21  |   |   |
|   |   |   |                   |  | Rev | Description   | Date  |   |   |



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|   |   | A   | PLANNING ISSUE               | 15.03.21 |      |   |   |   |   |
|   |   | Rev   | Description                  |          | Date |   |   |   |   |





BRICKWORK CLADDING



LIGHT GREY RENDER



STANDING SEAM CLADDING



WINDOWS & SOFFIT LININGS



CONCRETE CLADDING & TIMBER CLADDING



TIMBER SOFFIT LININGS



TIMBER SCREENING



STONE WALL CLADDING

|  |  |   |                        |  |  |     |   |   |  |   |
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|  |  |   |                        |  |  | A   | PLANNING ISSUE  | 15.03.21  |  |   |
|  |  |   |                        |  |  | Rev | Description   | Date  |  |   |



EAST ELEVATION



BRICKWORK CLADDING



LIGHT GREY RENDER



STANDING SEAM CLADDING



WINDOWS & SOFFIT LININGS



CONCRETE CLADDING & TIMBER CLADDING



TIMBER SOFFIT LININGS



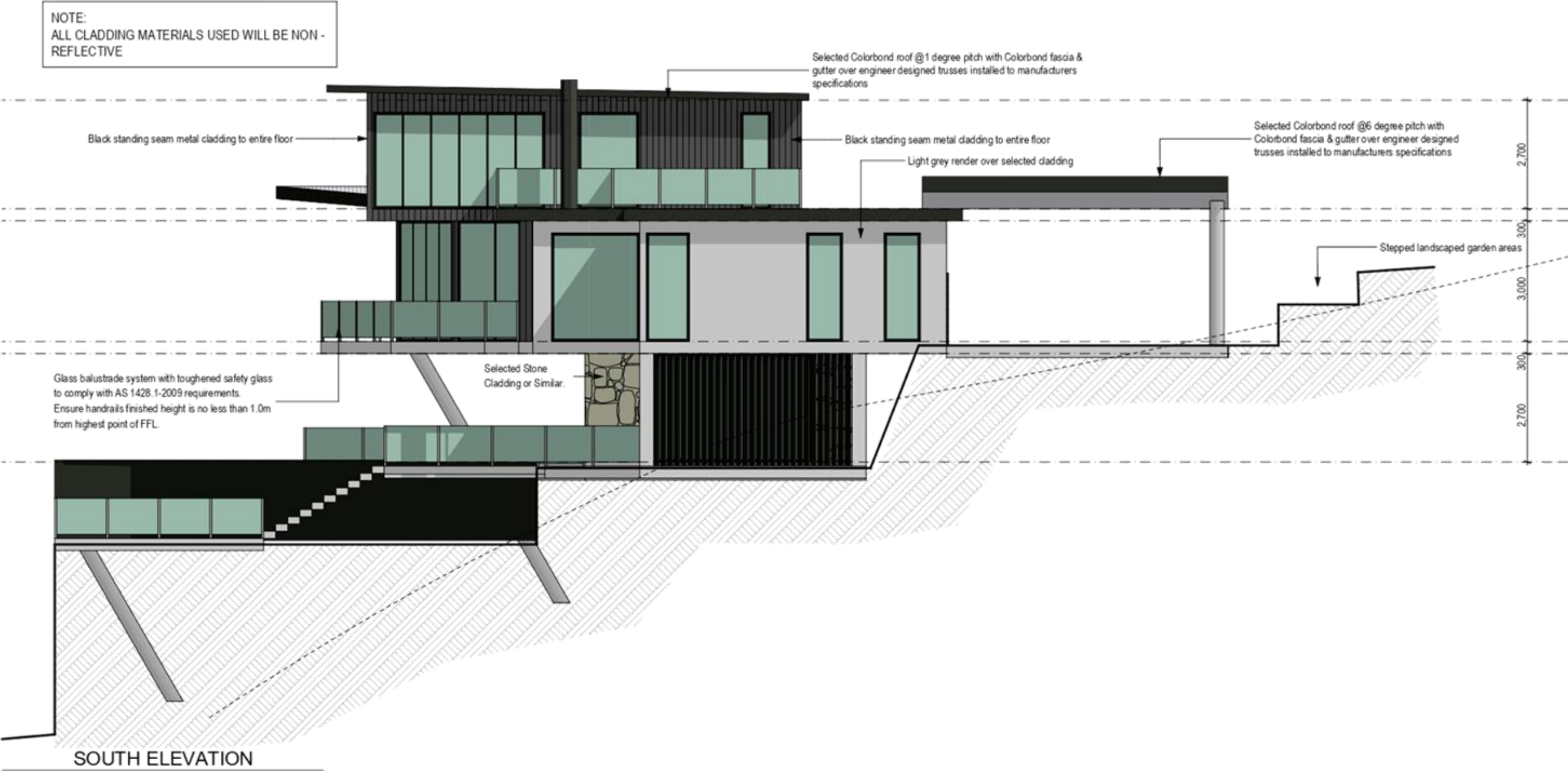
TIMBER SCREENING



STONE WALL CLADDING

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|  | MJL DESIGN & DRAFTING<br>PO BOX 7559<br>GEELONG WEST 3218<br><br>Mob. 0419 012 261<br>matt@mjl-design.com.au | Design: ML Drawn: ML  | Date: 30.04.20         |  |  |     | Client :<br><b>KANE &amp; ERIN</b><br><br>Location :<br><b>529 SWAN ROAD<br/>DARLEY,<br/>VICTORIA</b> | Project Name:<br><b>CLIFF VIEWS</b><br><br>Drawing :<br><b>ELEVATIONS</b> |  | Job No:<br><b>12_000</b><br><br>Drawing No:<br><b>WD202</b> |
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|  |  |   |                        |  |  | A   | PLANNING ISSUE  | 15.03.21  |  |   |
|  |  |   |                        |  |  | Rev | Description   | Date  |  |   |





BRICKWORK CLADDING



LIGHT GREY RENDER



STANDING SEAM CLADDING



WINDOWS & SOFFIT LININGS



CONCRETE CLADDING & TIMBER CLADDING



TIMBER SOFFIT LININGS



TIMBER SCREENING



STONE WALL CLADDING

|  |  |   |                        |  |     |   |   |  |   |
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|  | MJL DESIGN & DRAFTING<br>PO BOX 7559<br>GEELONG WEST 3218<br><br>Mob. 0419 012 261<br>matt@mjl-design.com.au | Design: ML Drawn: ML  | Date: 30.04.20         |  |     | Client :<br><b>KANE &amp; ERIN</b><br><br>Location :<br><b>529 SWAN ROAD<br/>DARLEY,<br/>VICTORIA</b> | Project Name:<br><b>CLIFF VIEWS</b><br><br>Drawing :<br><b>ELEVATIONS</b> |  | Job No:<br><b>12_000</b><br><br>Drawing No:<br><b>WD203</b> |
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|  |  |   |                        |  | A   | PLANNING ISSUE  | 15.03.21  |  |   |
|  |  |   |                        |  | Rev | Description   | Date  |  |   |

## BUSINESS AND FARM MANAGEMENT PLAN

### 1. ADDRESS of property

Lot 2, 529 Swans Road, Darley

64 Acres

### 2. Category and classification of land

The site is zoned Farming (FZ)

### 3. INTRODUCTION

This farm management plan describes the development and use of the property at Lot 2, 529 Swans Rd, Darley for the purpose of operating an "Equine breeding, training and management facility." This facility will provide

- a. a breaking and training program
- b. a re-education program for horses and their owners
- c. a rescue and re-education centre for ex racehorses
- d. It will also provide care to injured or ill horses when their owners themselves are unable to care for them.
- e. a horse breeding program

The level of training and care and customer service required in this business dictates that the owners must reside on the property in order to provide the appropriate level of care and management of the horses at all times which includes but is not limited to any emergencies, ongoing treatment of sick animals, coordinate with clients, contractors and suppliers where required. It is also vital for the success of the business that clients know that their horses are being monitored 24/7. A permanent residence onsite will also provide the land use to be economically viable for a working family to reside and work their farm .

The business (*Torlea Park* 25466850350 ) is owned by Erin Cubley and managed by Erin and her partner Kane McQuarrie who will both reside in the new dwelling onsite, to manage the business and provide appropriate 24 hour care to the horses.

### 4. BUSINESS SUMMARY

The activity will require ongoing investment in infrastructure as the animals will need very close supervision due to the required husbandry practices.

The enterprise has three key specialised components.

- a. breeding, foaling and training services.
- b. breaking, training and education / re-education programs
- c. a convalescence facility for the local horse industry.

Each of these components have specific infrastructure needs, which are / will be developed.

### **1. *Experience and Capability of the Owners/Operators***

Business owner Erin Cubley and her partner Kane McQuarrie will both reside permanently in the new home on the property. Erin has 20 + years' experience in the equine industry as a horse rider, breaker and trainer, plus assisting with a family horse breeding business.

Both Erin and Kane run their own successful businesses external to the property and have the relevant customer service, technical and business management skills to operate the family farm business. This combines with their long experience in the equine industry.

The onsite home will enable them to optimize the effective use of the property and grow this business.

### **2. *Financial capability:***

The two owners each have their own successful business external to the farm, which should ensure sufficient income to manage the transition to a profitable horse enterprise within 24 months.

### **3. *Farm business model***

Services to be provided include;

- Provision of breeding services.
- Training and re-educating for horses,
- Riding instruction.
- Provision of daily equine management services including but not limited to; Daily feeding, monitoring, rugging when required, exercise for rehabilitation and medical care.
- Arrangement and monitoring of Professional services including veterinarian, equine dentist, physio, farrier etc.
- Short term accommodation for horses who are rehabilitating from illness or injury
- 24/7 management onsite of horses in care.
- 24/7 access to owners whose horses are in care.

It is expected that the facility will accommodate up to 8 horses in total at any one time. This number is based on the capability of the land, with appropriate stable / paddock rotation.

### **4. *Access to the Property and site details***

Access to the property is provided via a fully sealed road.

Access to the equine facility will be via secured gates at the front of the property. Horse owners and third parties will have access to the site by appointment. All parties will be accompanied when first entering the property.

### **5. *Current and future assets to support the plan***

All fundamental aspects of the farm enterprise have been developed and currently exist except for the availability of a residential dwelling which is necessary for the successful operation of the business and farm management plan.

**Current assets include:**

- Extensive stable block with 4 horse boxes
- A large feed and tack room,
- Horse wash and preparation area.
- 6 small horse paddocks plus 3 larger paddocks, all with horse shelters and piped water troughs.
- All existing fencing around the horse paddocks is electrified

- All cladding is non reflective

An exercise and training arena exists on the property which will support horse training and rider instruction and support breaking in and re-education programs. This facility will be used for the daily exercise of horses as well as.

#### **Future assets**

- The dwelling will incorporate a meeting room and staff accommodation when the owners are absent
- We will construct a vet crush for the treatment of the horses.

Please refer to photographs in Appendix A to see scope of current facilities and site layout.

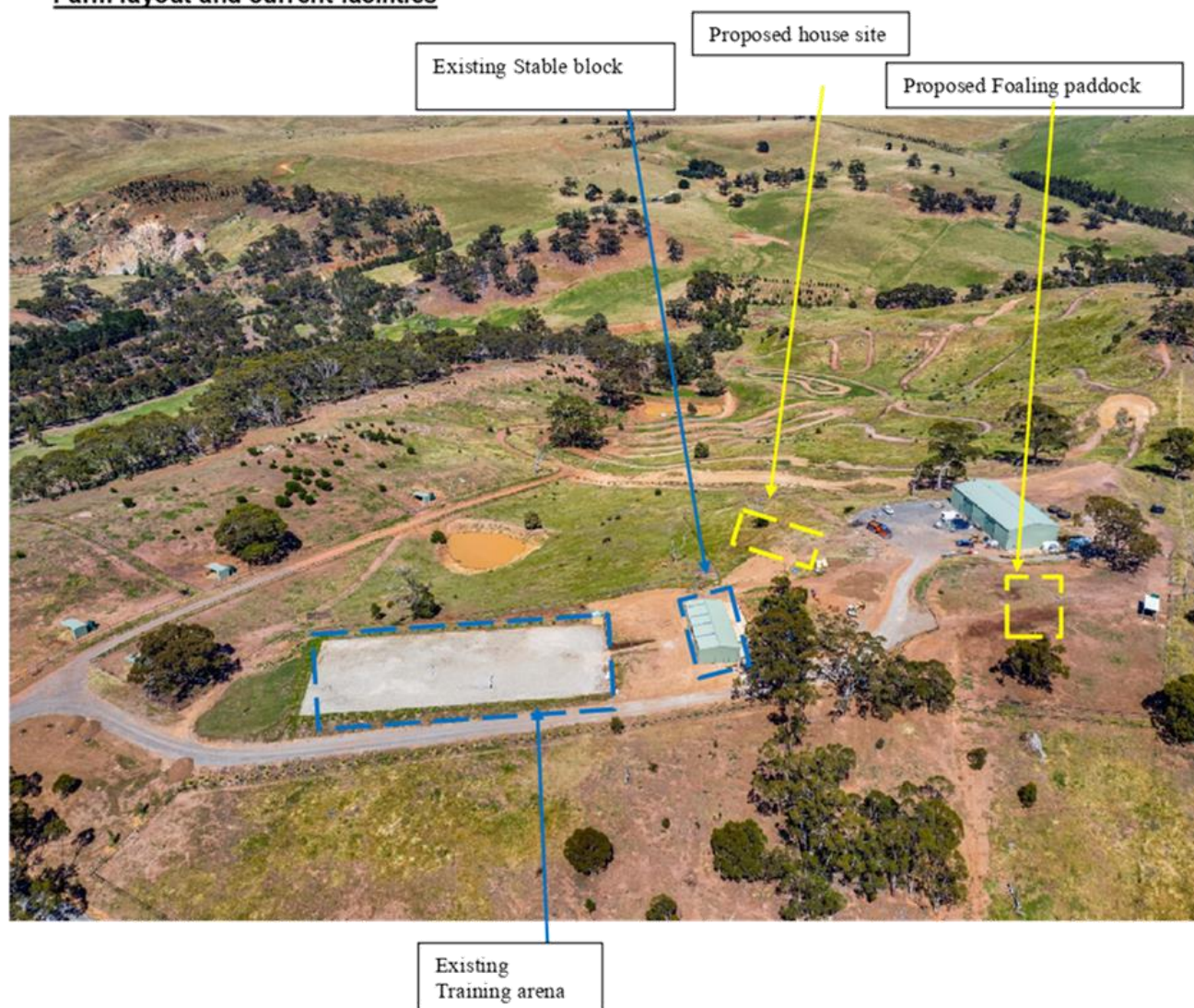
#### **Future development**

1. Paddock Improvement
  - a. A fertilizer program will be implemented to ensure a greater quality of feed.
  - b. Paddocks will be rotated and used in conjunction with the stables and round yard giving the paddocks a rest when needed.
  - c. The existing paddock size and locations onsite including stable location are in line with our plans going forward. We will make no changes to the current layout of the paddocks except to improve paddocks close to the house for foaling down and care of foals.
2. Trees
  - a. Existing trees will stay in place to provide shelter along south boundary. Trees will be planted along the west boundary to provide security from adjacent farming operations.
3. Dams
  - a. Current dams provide sufficient water, and there is scope to increase the size of the smaller dams if required.
4. Parking
  - a. A gravel area for onsite parking for cars and horse floats already exists and there is scope to enlarge this if required over time.
5. Further improvements as the business expands will include
  - a. Creation of additional small paddocks for short stay animals
  - b. Develop safe yard for foaling down and care of foals
  - c. Foaling paddock close to the house
  - d. Vegetation improvement to facilitate a larger stocking rate and for erosion control, which is a valuable contribution to the area.



## **APPENDIX A**

### Farm layout and current facilities







**CURRENT FENCING MARKED IN YELLOW**








Proposed dwelling 

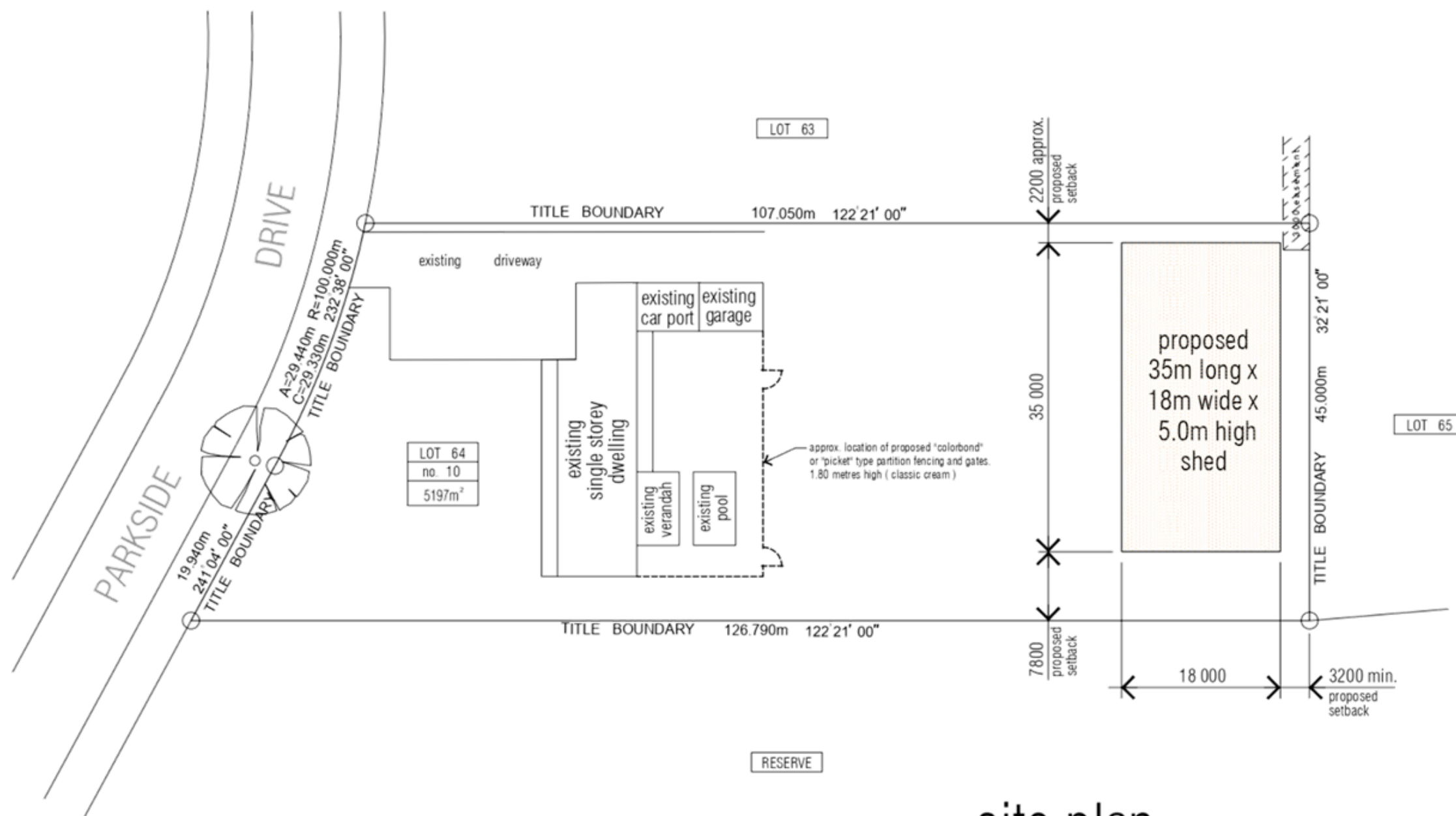
Swans Lane 

South boundary 



## THIS SET OF DRAWINGS IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING :

1. The certificate of title and Plan of Subdivision as noted below right
2. Copy of "Moorabool Shire Council" planning response letter dated 15-09-2021



| Site Information     |                                     |
|----------------------|-------------------------------------|
| Zoning               | Low Density Residential Zone (LDRZ) |
| Lot Area             | 5197m²                              |
| Water Authority 1    | Southern Rural Water                |
| Water Authority 2    | Western Water                       |
| Municipality         | Moorabool                           |
| Council Property No. | 445116                              |
| Plan of Subdivision  | PS 518686 Y                         |
| Metway Reference     | Map 341 C/2                         |
| Parish               | Merimu                              |

| design criteria          |             |
|--------------------------|-------------|
| Site Soil Classification |             |
| Wind Rating              |             |
| Bushfire Attack Level    |             |
| Energy Rating            | N/A         |
| Alpine Area              | No          |
| Termite Area             |             |
| Flood Prone Area         |             |
| Designated Land or Works |             |
| Sewerage                 | Reticulated |

site plan  
scale 1: 500

these drawings are to be read  
in conjunction with the  
certificate of title  
volume : 10819 folio : 719  
and  
plan of subdivision PS 518686 Y



**WARNING**  
BEWARE OF UNDERGROUND SERVICES  
THE LOCATION OF UNDERGROUND SERVICES HAVE NOT BEEN DETERMINED AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN

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4. The Draftsperson / Engineer shall be notified if there are any discrepancies prior to commencing.
5. All materials and workmanship shall conform to the relevant current Australian Standards and National Building Code of Australia.

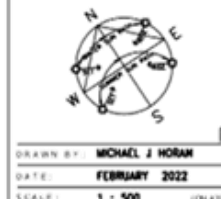
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|--------------|---------------------------------|------------|
| A            | ISSUED FOR PLANNING INFORMATION | 21-03-2022 |
| B            | HEIGHT REVISED DOWN TO 5.0m     | 04-05-2022 |

Registered Building Practitioner  
Architectural - civil - structural  
design drafterperson

Registration: N° DP-A022036  
Registration: N° DP-S067  
ph. mobile : 0407 531 125  
ph. office : 53 67 5616  
email : mh308@bigpond.net.au



**Bacchus Marsh Design and Drafting Services**  
Michael J Horan



PROJECT :  
**proposed shed**  
**35m long x 18m wide x 5.0m high**

FOR ADDRESS :  
**( lot 64 ) no. 10 parkside drive,**  
**hopetoun park, victoria, 3340**

CLIENT :  
**Paul Austin & Katerina Charalambous**  
ph. (m) 0401 210 380 ( Paul )

DRAWING TITLE :  
**site plan**

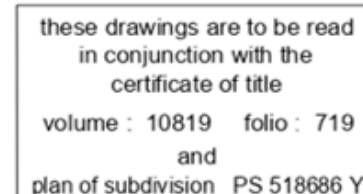
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**TOWN PLANNING**  
**not for construction**

ORG NO :  
**21-597**

SHEET :  
**TP02**

OF :  
**4**

REV STATUS :  
**B**



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[illegible]

Registered Building Practitioner  
Architectural - civil - structural  
design drafts person

Registration: N° DP-AD2/2036  
Registration: N° DP-S067

ph. mobile : 0407 531 125  
ph. office : 53 47 5416  
email : mh308@bigpond.net.au



**Bacchus Marsh Design  
and Drafting Services**  
Michael J Horan



DRAWN BY: MICHAEL J. HORAN  
DATE: FEBRUARY 2022  
SCALE: 1 = 200

**proposed shed**  
**35m long x 18m wide x 5.0m high**

**( lot 64 ) no. 10 parkside drive,  
hopetoun park, victoria, 3340**

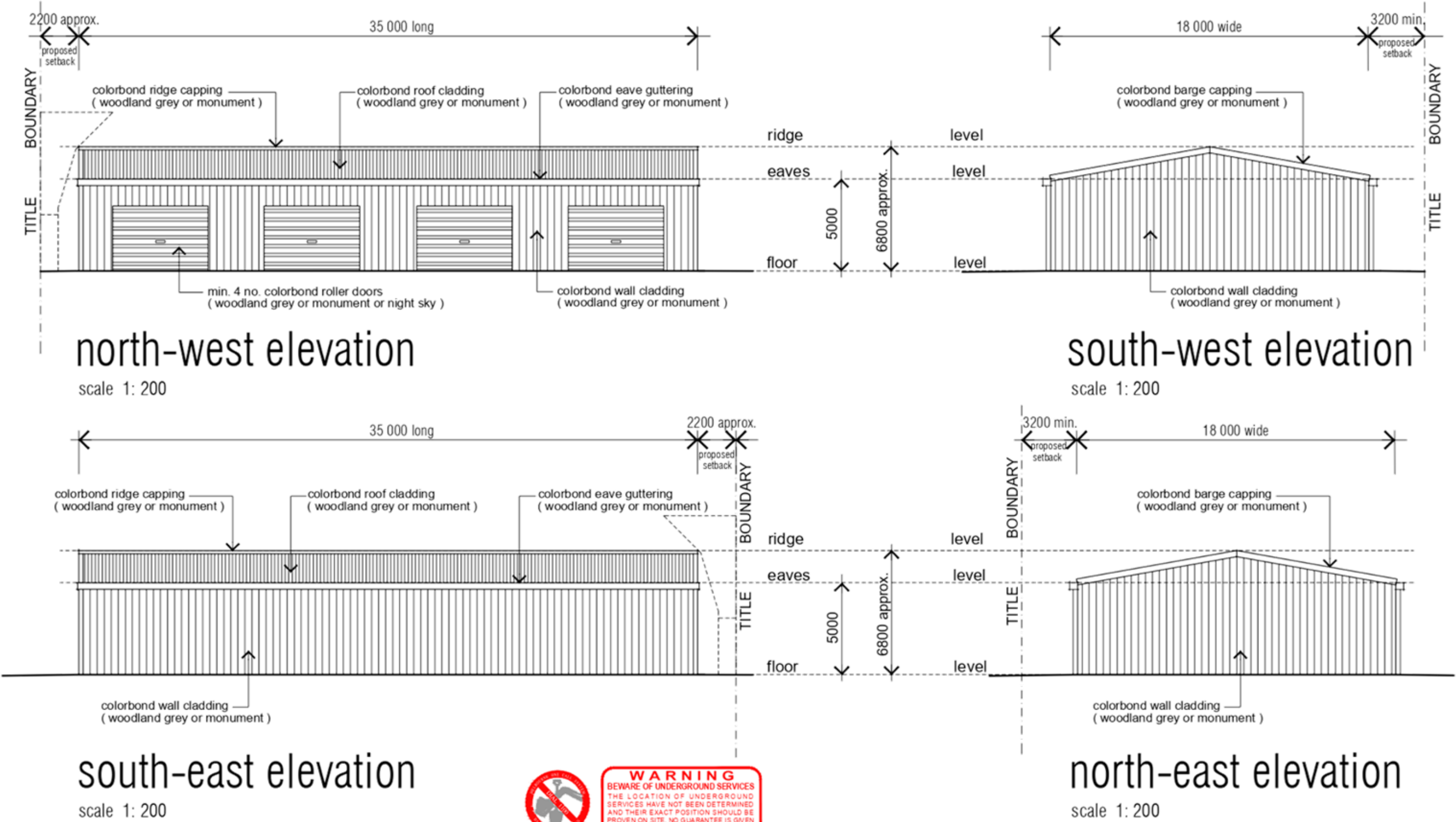
**Paul Austin & Katerina Charalambous**  
ph. (m) 0401 210 380 ( Paul )

DRAWING TITLE :  
**floor plan**

ORG STATUS

**TOWN PLANNING**  
not for construction

|          |         |      |            |
|----------|---------|------|------------|
| ORG No : | SHEET : | OF : | REVISION : |
| 21-597   | TP03    | 4    | B          |



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| REV / STATUS | DESCRIPTION                     | DATE       |
|--------------|---------------------------------|------------|
| A            | ISSUED FOR PLANNING INFORMATION | 21-03-2022 |
| B            | HEIGHT REVISED DOWN TO 5.0m     | 04-05-2022 |
|              |                                 |            |
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|              |                                 |            |

Registered Building Practitioner  
Architectural - civil - structural  
design draftsman

Registration N° DP-A022036  
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ph. mobile : 0407 531 125  
ph. office : 53 67 5616  
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**Bacchus Marsh Design and Drafting Services**  
Michael J Horan

DRAWN BY: MICHAEL J HORAN  
DATE: FEBRUARY 2022  
SCALE: 1 : 200 (ON A3)

PROJECT:  
**proposed shed**  
**35m long x 18m wide x 5.0m high**

FOR ADDRESS:  
**( lot 64 ) no. 10 parkside drive,**  
**hopetoun park, victoria, 3340**

CLIENT:  
**Paul Austin & Katerina Charalambous**  
ph. (m) 0401 210 380 ( Paul )

DRAWING TITLE:  
**elevations**

ORG STATUS:  
**TOWN PLANNING**  
**not for construction**

ORG NO: 21-597 | SHEET: TP04 | OF: 4 | REV STATUS: B